

BID PROPOSAL PACKAGE

*City of Green River
Request for Bid Proposal
Lincoln Addition Residential Development*

The City of Green River is requesting bid proposals for the development of an assembled site of approximately 8.75 acres, described as Tract “B” and Tract “C” of the Lincoln School Addition to the City of Green River, Wyoming.

The City of Green River has determined through strategic and comprehensive planning efforts that it is a priority of the City to provide quality residential housing opportunities that meet the needs of the City’s residents, encourage infill, and are compatible with adjacent developed neighborhoods. In order to encourage residential development, the City of Green River is requesting proposals for a Detached Single-Family Residential Subdivision with open space dedication for future park space.

All bid proposals must conform to the specifications as listed below:

BID DEADLINE

Sealed bids must be received by 2:00 p.m., MST, September 28, 2017.

EXPERIENCE

The City is seeking proposals from proven and experienced residential subdivision developers. Please provide sufficient information to illustrate the company’s experience in residential subdivision development including subdivision name, location, number of lots and lot sizes, price range and status of related projects.

PROPERTY DESCRIPTION

Tract “B” and Tract “C” of the Final plat of Lincoln School Addition, as recorded in the County Clerk’s Office of Sweetwater County, Wyoming, said property located in the South Half of Section 15, Township 18 North, Range 107 West, 6th Principal Meridian, Green River, Sweetwater County, Wyoming, consisting of 8.75 acres. See Attachment – Final Plat for Lincoln School Addition.

The old Lincoln School track and field currently sits on Tract “B”. The successful bidder shall be responsible for removing any above ground or underground materials, infrastructure and improvements as necessary for their development. The property is being sold “as is, subject to all faults”. The City of Green River makes no representation or warranty regarding the condition of the property and any property condition known or unknown. It shall be the sole responsibility of the bidder to conduct such inspections of the property as the bidder may require.

DESIGN AND DEVELOPMENT

The City is seeking an experienced residential subdivision developer to develop the entire 8.75 acre property for single family residential lots that will include open space to be set aside for the development of a future public park. The site shall be developed as one phase. Multiple phases are not permitted. A

conceptual layout is included within this bid package as a “sample” however, the developer is not bound to utilize this concept if an alternative, comparable solution is provided.

Per the direction of the Governing Body, a portion of Tract “C” shall be dedicated for public park and open space purposes during the subdivision process. The area dedicated or public park and open space shall be easily accessible, functional, useable, and meet the needs of the public.

The property is zoned R-2, Single Family Residential, in accordance with the City of Green River Zoning Ordinance and Official Zoning Map. The following table outlines the minimum criteria for R-2 lot development:

Minimum lot area (square foot):	6,000
Minimum width of lot:	60’
Minimum gross floor area (square foot):	1,500
Minimum number of off-street parking spaces:	2
Minimum front yard setback for principal structure:	20’ from property line
Minimum front yard setback for all principal structures on a corner lot and building face is not a main entry:	15’ from property line
Minimum rear yard setback for all principal structures:	15’ from property line
Minimum side yard setback for all principal structures:	7.5’ from property line
Minimum front yard setback for accessory structures (i.e. detached garage):	20’ from property line
Minimum front yard setback for accessory structures (i.e. detached garage) on a corner lot:	15’ from property line
Minimum rear yard setback for accessory structures (i.e. detached garage):	7.5’ from property line
Minimum side yard setback for accessory structures (i.e. detached garage):	7.5’ from property line
Minimum open space in % of lot area and in square footage:	30% of lot
Maximum structure height:	35’

The successful bidder will, at their sole expense, engage engineers and architects to prepare designs, plans and specifications for development of the subdivision.

In accordance with the City of Green River Subdivision Ordinance, prior to approval of the Final Plat, the successful bidder shall guarantee the installation of the necessary subdivision improvements with a financial guarantee acceptable to the City for the full cost of the required improvements as approved by the City Engineer. Title to the property shall not be transferred until the Purchase and Development Agreement is signed, the financial guarantee is submitted and approved, and the Final Plat is approved by the Governing Body. The Final Plat will be recorded with the transfer of the title.

The successful bidder shall have the subdivision improvements installed and accepted by the Governing Body no later than twenty-four (24) months from the date of Final Plat approval in accordance with the Green River Subdivision Ordinance.

The City of Green River shall not issue Building Permits for the construction of any new residential structures within the subdivision until all subdivision improvements are constructed and accepted by the Governing Body and all obligations of the successful bidder under the Purchase and Development Agreement have been satisfied.

PROJECT SCHEDULE

Within sixty (60) days of the date of the approved Purchase and Development Agreement, the successful bidder shall commence the subdivision application process by submitting a Sketch Plat Application and shall in good faith continue through the subdivision application process through to final plat approval by the Governing Body of the City of Green River. The subdivision process includes Sketch Plat, Preliminary Plat and Final Plat. Further information regarding the Green River subdivision process and design standards can be found in the Subdivision Ordinance, Green River Code of Ordinances, Appendix C.

The City will require that the Final Plat of the subdivision be approved by the City of Green River within 12 months of entering into the Purchase and Development Agreement. In the event that the Final Plat is not approved within the 12 month period, the City, at its sole discretion, will have the right to reconsider the Purchase and Development Agreement.

As noted above, subdivision improvements shall be installed and accepted by the City of Green River within 24 months from the date of the acceptance of the Final Plat, in accordance with the Green River Subdivision Ordinance (Code of Ordinances, Appendix C).

REQUIRED CONTENT OF PROPOSAL

All bid proposals shall include the following information:

- Bid form
- A cover report/letter that provides the following information:
 - Firm's name, address, telephone and fax numbers, and email addresses.
 - The names, roles and qualifications of the key personnel that will be assembled to accomplish the project goals.
 - Sufficient information to illustrate the company's experience in residential subdivision development including subdivision name, location, number of lots and lot sizes, price range and status of related projects.
 - A brief summary of the firm's financial stability.
 - Brief summary of the proposal approach, bid amount, deliverables and schedule.
- Preliminary Conceptual Plan. The site shall be designed to produce an efficient, functional, and cohesive development that contributes to the overall aesthetic quality of the area. At a minimum, the conceptual plan shall include the following:
 - Lot layout and lot sizes
 - Right-of-way and street layout
 - General description of housing (sample floor plans, building elevations, and square footage).
 - The area proposed to be dedicated for public park and open space purposes. Size, access, functionality, and usability shall be demonstrated.
- A detailed project schedule must be submitted with the bid proposal.
- List of references.

SUBMITTAL REQUIREMENTS

The City of Green River will allow bid submittals at the office of the Finance Department, Green River City Hall, 50 East 2nd North, Green River, WY 82935 until 2:00 p.m. local time on Thursday, September 28, 2017. No faxed or emailed bids will be accepted. No submittals will be accepted after that time and date.

Six copies of the bid proposal must be submitted in a sealed envelope bearing the project name “Lincoln Addition Bid Proposal.” All submissions become property of the City of Green River and are subject to the Freedom of Information and Privacy Legislation.

All bids must be accompanied by a bid bond or a separate certified or cashier’s check payable to the City of Green River, Wyoming, in an amount equal to five percent (5%) of the amount bid. Upon approval of the bid, the successful bidder’s check shall be deposited immediately. All bid bonds shall remain in effect until the Final Plat is approved (including submittal of the financial guarantee referenced above), the remaining amount of the bid is paid to the City of Green River, and the property is successfully transferred.

SELECTION

A selection committee will review all proposals submitted by the time and date specified according to the factors and criteria included with this Bid Proposal Package. The selection committee will consider the following factors in its review of the proposals received:

Factor	Weight Given
1. Bid amount	55%
2. Conceptual plan (layout/design, fit with neighborhood, proposal for park land dedication, etc.)	20%
3. Firm Experience & Qualifications of Personnel, including Financial Stability	10%
4. Project Schedule	10%
5. Quality of References and Results of Reference Checks	5%

The best qualified bidder, all factors considered, will be selected for agreement discussions. While the bid amount is one consideration in the evaluation, it is not the only factor to be considered. Upon selection, the City of Green River, Wyoming intends to negotiate terms of a Purchase and Development Agreement with the bidder deemed to best serve the interests of the City. If contract negotiations are unsuccessful, the City reserves the right to negotiate with the next highest-ranked bidder. The City is not under any obligation to award a contract.

The City reserves the right to waive any and all informalities in the submittal process, or within any proposal. The City may require up to sixty (60) days after opening the proposals to award the bid.

After the bid is awarded, the successful bidder must provide proof of adequate insurance acceptable to the City of Green River. The following minimum amounts are required:

1. Worker’s Compensation: Statutory Limits
2. Comprehensive General & Auto Liability: \$1,000,000 per occurrence and \$2,000,000 aggregate
3. Professional Liability: \$500,000

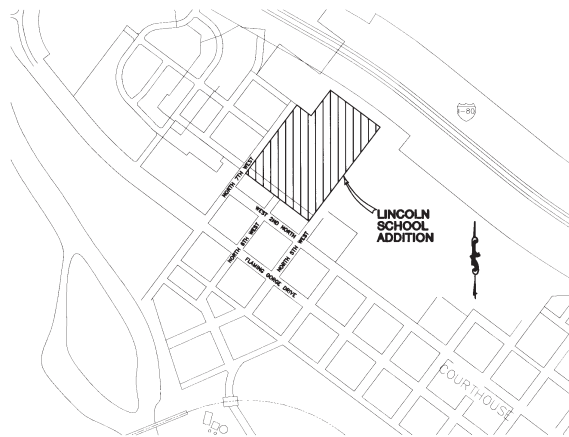
The City of Green River shall be named as an additional insured in accordance with applicable State laws.

INFORMATION

All questions shall be submitted in writing to: Laura Leigh, Director of Community Development, City of Green River at 307-872-6146 or email at lleigh@cityofgreenriver.org. All answers will be posted along with the bid on the City of Green River’s website: www.cityofgreenriver.org.

FINAL PLAT FOR LINCOLN SCHOOL ADDITION

LOCATED IN THE SOUTH HALF
OF SECTION 15
TOWNSHIP 18 NORTH, RANGE 107 WEST
GREEN RIVER, SWEETWATER COUNTY, WYOMING
(INCLUDES A PARTIAL REPLAT OF UNION PACIFIC
RAILROAD COMPANY'S THIRD ADDITION)



VICINITY MAP

SCALE: 1"=500'

MONUMENTS

- INDICATES 3-1/4" BERTSEN ALUMINUM CAP WITH 2-3/8"x30" ALUMINUM PIPE STAMPED "LINCOLN SCHOOL ADDITION (CORNER # INDICATED ON PLAT), PLS 2428". SET THIS SURVEY.
- INDICATES A BRASS CAP SET IN CONCRETE STAMPED "LINCOLN SCHOOL ADDITION (CORNER # INDICATED ON PLAT), PLS 2428". SET THIS SURVEY.
- INDICATES 2" ALUMINUM CAP WITH 5/8" X24" REBAR STAMPED "PROPERTY CORNER JFC PLS 2428". SET THIS SURVEY.

APPROVAL - PLANNING COMMISSION

This plat approved by the City of Green River Planning Commission this 13th day of February A.D. 2002.

Wade Holman
Wade Holman, Chairman

Dennis Brathwaite
Dennis Brathwaite, Secretary

APPROVAL - GREEN RIVER CITY COUNCIL

Approved by the City Council of the City of Green River, Wyoming, this 19th day of February A.D. 2002.

Norm Stark
Norm Stark, Mayor

Jeff Nickels
Jeff Nickels, City Clerk/Treasurer

RECORDING - SWEETWATER COUNTY CLERK

This plat was filed for record in the Office of the Clerk and Recorder at 9:15 o'clock a.m. on February 27, 2002, and is duly recorded in Book 142, Page 142.

Heather Buff
County Clerk
By: *Matthew Burke* Deputy

#1357258

NOTE:

THE BASIS OF BEARING FOR THIS DRAWING IS THE WILLIAM H. SMITH DRAWING TITLED "PLAT OF SURVEY, WASHINGTON & LINCOLN SCHOOLS" DATED APRIL 25, 1983.

ZONING:

THIS PROPERTY IS ZONED R2.

FLOOD PLAIN

ACCORDING TO THE FEMA COMMUNITY PANEL 560050 0005 C MAP DATED JUNE 20, 2000, THIS PROPERTY DOES NOT LIE WITHIN A DESIGNATED FLOOD PLAIN.

JFC ENGINEERS
ARCHITECTS
SURVEYORS

1515 NINTH STREET
ROCK SPRINGS,
WYOMING 82801
(307) 362-7519

OWNER/DEVELOPER

CITY OF GREEN RIVER
50 EAST 2ND NORTH STREET
GREEN RIVER, WYOMING
PHONE: 307-872-0500

DEDICATION

Know all men by these presents that the undersigned CITY OF GREEN RIVER, being the owner, proprietor, or parties of interest in the land shown on this plat, do hereby certify:

That the foregoing plat designated as The Lincoln School Addition is located in the South Half of Section 15, Township 18 North, Range 107 West of the Sixth Principal Meridian, Green River, Sweetwater County, Wyoming, including a partial resubdivision of the Union Pacific Railroad Company's Third Addition to the City of Green River, Wyoming and is more particularly described as follows:

Beginning at the most northerly corner of Lot 6, Block 6 of Union Pacific Railroad Company's Third Addition to the City of Green River, Wyoming as platted and filed in the Office of the Sweetwater County Clerk;

Thence North 31°08'21" East along the northerly prolongation of the northwesterly line of said Block 6 for a distance of 710.00 feet;

Thence South 52°51'53" East for a distance of 150.00 feet;

Thence North 31°08'21" East for a distance of 270.00 feet;

Thence South 52°51'53" East for a distance of 504.75 feet;

Thence South 51°08'21" West for a distance of 480.00 feet to the most easterly corner of Lot 1, Block 7 of said Third Addition;

Thence North 52°51'53" West for a distance of 654.75 feet to the Point of Beginning, and contains an area of 18.41 acres, more or less, and

That this subdivision, as it is described and as it appears on this plat, is made with the free consent and in accordance with the desires of the undersigned owner and proprietor, and that this is a correct plat of the area as it is divided into lots, blocks, streets and utility easements, and

That the undersigned owner of the land shown and described on this plat does hereby dedicate to the City for perpetual public use all streets, alleys, easements and other lands within the boundary lines of the plat as indicated and not already otherwise dedicated for public use.

All rights under and by virtue of the homestead exemption laws of the State of Wyoming are hereby waived and released.

A portion of the above described tract lies within Union Pacific Railroad Company's Third Addition to the City of Green River. It is our desire to VACATE the above described portion of the original plat in order that this new subdivision plat may be recorded in its place. We declare that the aforesaid portion of said original plat is hereby vacated, from and after the date of execution hereof.

Executed this 28 day of March A.D. 2002, by:
CITY OF GREEN RIVER

Norm Stark
Norm Stark, Mayor

Jeff Nickels
Jeff Nickels, City Clerk/Treasurer

State of Wyoming } s.s.
Sweetwater County }

The foregoing instrument was acknowledged before me this 28 day of March A.D. 2002, by Mayor *Norm Stark* and City Clerk *Jeff Nickels*, as a free and voluntary act and deed.

Witness my hand and official seal.

My commission expires 5/22/05

Ladelle W. Covington
Notary Public



STATEMENT OF SURVEYOR

I, Craig A. Shavers, do hereby state that: I am a Professional Land Surveyor licensed under the laws of the State of Wyoming, that this plat is a true, correct, and complete plat of the LINCOLN SCHOOL ADDITION as laid out, platted, dedicated, and shown hereon, that such plat was made from an accurate survey of said property by me and under my supervision and correctly shows the location and dimensions of the lots, easements, and streets of said subdivision as the same are stated upon the ground in compliance with the City of Green River regulations governing the subdivision of land.

Craig A. Shavers
Professional Land Surveyor
Wyoming Registration No. 2428
on 3/14/02

REVIEW - ASSISTANT CITY ENGINEER

Data on this plat reviewed this 19th day of February, A.D. 2002, by the Assistant City Engineer of the City of Green River, Wyoming.

David J. Westing
Assistant City Engineer

GREEN RIVER Lincoln School Addition
Tracts "B" & "C" - Conceptual Layout

* Aerial Photo Date - 2013 *

Map Revision Date: 6/6/2017
Prepared by Jason D Brown, City of Green River GIS
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