



PO Box 1136 DICKSON ACT 2602 Ph. 0401 006 885

Block Q Section AL NGUNNAWAL ACT

CLIENT : FEATURE HOMES

WORKING DRAWINGS

Issue Date MAY 2013

COVER SHEET

JOB NO. 1304



Drawing List

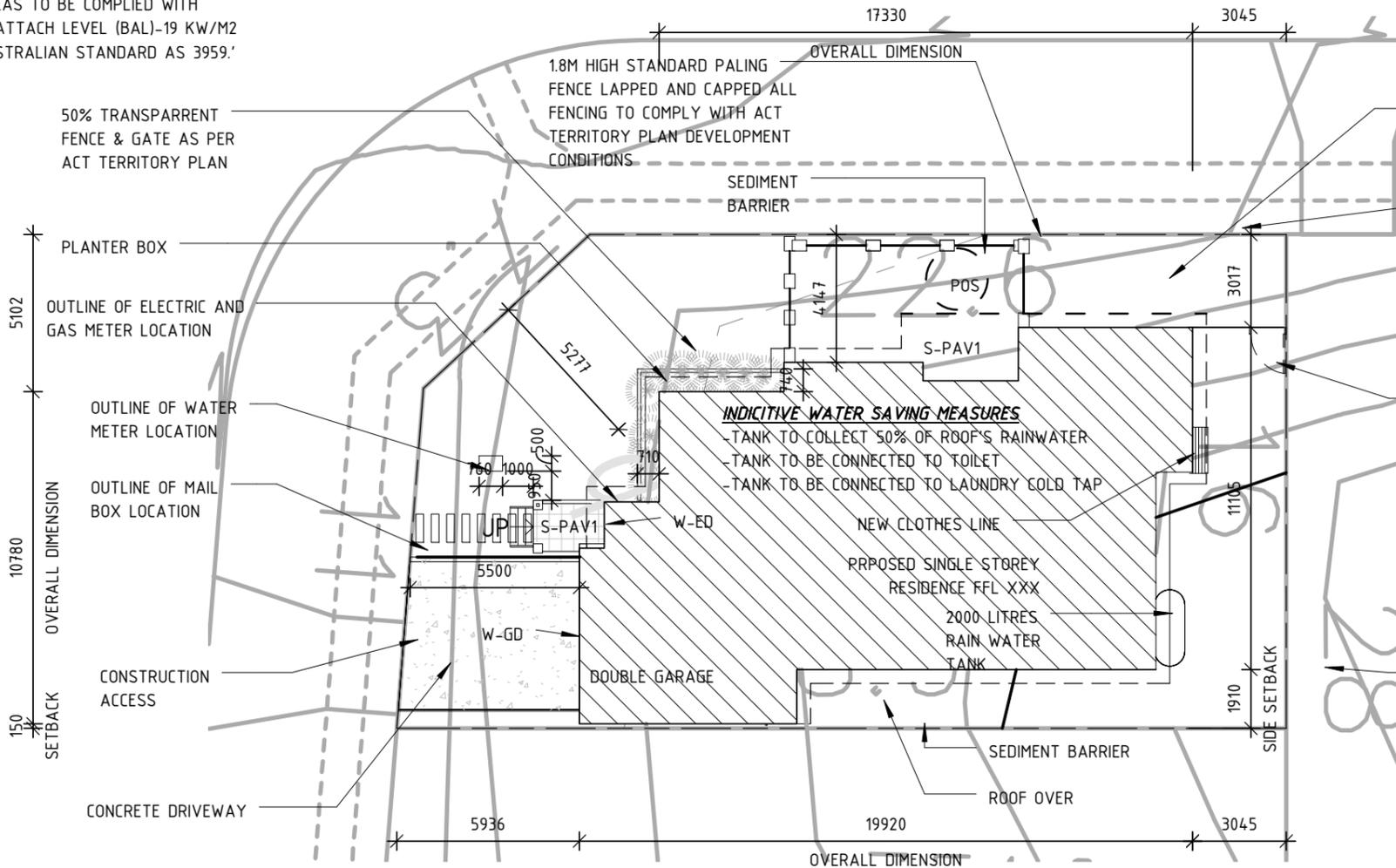
Sheet Number	Sheet Name	Drawn By	Current Revision	Current Revision Description
A100	COVER SHEET	HE	A	WORKING DRAWING
A101	SITE PLAN	HE	A	WORKING DRAWING
A102	FLOOR PLAN	HE	A	WORKING DRAWING
A103	ROOF PLAN	HE	A	WORKING DRAWING
A104	ELEVATIONS SHEET 1	HE	A	WORKING DRAWING
A105	ELEVATIONS SHEET 2	HE	A	WORKING DRAWING
A106	SECTION	HE	A	WORKING DRAWING
A107	SHADOW DIAGRAM	HE	A	WORKING DRAWING
A108	3D VIEWS	HE	A	WORKING DRAWING

ENVIRONMENTAL PROTECTION GUIDELINES - RESIDENTIAL BLOCKS

- MAINTAIN AS MANY GRASSED AREA AS POSSIBLE PARTICULARLY ON THE VERGES TO TRAP SOIL BEFORE IT REACHES THE ROADWAY AND STORMWATER SYSTEM. FENCE OFF UNDISTURBED AREAS
- USE ONLY ONE EXIT/ENTRY TO THE SITE, BUILD A STABILISED ACCESS POINT BY USING ROAD BASE, 50MM AGGREGATE, RECYCLED CONCRETE OR SIMILAR
- ASSIGN DESIGNATED PARKING AREA
- LIMIT ACCESS TO THE SITE DURING AND IMMEDIATELY AFTER WET WEATHER
- THE DEVELOPMENT COMPLIES WITH THE *BEST PRACTICE GUIDELINES - PREVENT POLLUTION FROM RESIDENTIAL BUILDING SITES, MARCH 2006*"
- KEEP STOCKPILE WITHIN THE SITE AREA AND AWAY FROM THE STORMWATER SYSTEM
- INSTALL A SEDIMENT CONTROL BARRIER OF GEO TEXTILE FABRIC ON THE LOW SIDE/S

- DESIGNATE A BRICK CUTTING AND WASH AREA AWAY FROM STORMWATER DRAINS. ENSURE THE AREA IS LARGE ENOUGH TO CONTAIN ALL EXCESS WATER, RESIDUES AND WASTE.
- REGULARLY CHECK AND MAINTAIN POLLUTION CONTROLS THROUGHOUT CONSTRUCTION (REFER TO ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION & LAND DEVELOPMENT IN A.C.T
- DEVELOPMENT COMPLIES WITH THE ACT ENVIRONMENT PROTECTION AUTHORITY, ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE ACT AUGUST 2007

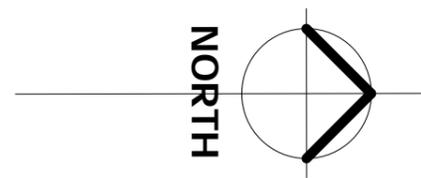
CONSTRUCT THE BLOCK BUILDING IN BUSHFIRE PRONE AREAS TO BE COMPLIED WITH BUSHFIRE ATTACH LEVEL (BAL)-19 KW/M2 IN THE AUSTRALIAN STANDARD AS 3959.



LEGEND

- SILT FENCING TO 300mm ABOVE GROUND LEVEL STAKED AT 3m INTERVALS OR TO AUTHORITY APPROVAL
- PRIVATE OPEN SPACE

NOTE: AS PER VILLAGE BUILDING COMPANY'S ADVICE BUYERS ARE ADVISED TO INDEPENDENTLY VERIFY BLOCK LEVELS PRIOR TO CONSTRUCTION. THE LEVELS SHOWN HERE ARE INDICATIVE ONLY. BUYERS & BUILDER MUST CHECK LEVELS BY ENGAGING REGISTERED SURVEYOR PRIOR COMMENCING CONSTRUCTION.



SITE LEGEND

S-PAV1 PAVING TYPE 1 TO SELECTION

GENERAL LEGEND

- W-ASD** POWDERCOATED ALUMINIUM FRAMED SLIDING DOORS TO SELECTION
- W-GD** SELECTED GARAGE DOOR
- W-ED** SELECTED ENTRY DOOR
- W-RD** SELECTED REAR DOOR
- W-AW** POWDERCOATED ALUMINIUM FRAMED WINDOWS TO SELECTION
- W-POS** 200 x 200 PAINTED TIMBER POSTS

WALL LEGEND

- W-BV** **BRICK VENEER WALL:** 1 LEAF OF 230x110x76 FACE BRICK. RENDERED & PAINTED AS PER ELEVATIONS. COLOUR TO SELECTION. 40MM CAVITY. 1 LAYER OF 10MM PLASTERBOARD (MOISTURE RESISTANCE PLASTERBOARD TO WET AREAS) INTERNAL LINING TO STUD FRAMING. PAINT FINISH. INSULATION AS SPECIFIED.
- W-HC** **HARDITEX CLADDING (HC):** HARDITEX CLADDING SYSTEM WITH APPROVED ACRATEX COATING TO EXTERNAL SIDE OF STUD FRAMING. PAINTED AS PER ELEVATIONS. COLOUR TO SELECTION. INSTALLED TO MANUFACTURER'S WRITTEN INSTRUCTIONS.

LEGEND

- WC WATER CLOSET
- V VANITY BASIN
- S STAINLESS STEEL SINK
- F FRIDGE
- HP HOT PLATE
- TUB BATH TUB
- SH SHOWER
- WM WASHING MACHINE
- TR LAUNDRY TROUGH
- DP DOWNPIPE
- Ⓢ SMOKE ALARM
- DP DOWNPIPE

AMENDMENTS		
NO.	DATE	DETAIL
A	07/12/11	WORKING DRAWING

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AREA SCHEDULE

- LIVING AREA 151.44sqm
- GARAGE AREA 39.786sqm
- ALFRESCO 4.810
- PORCH 3.700 sqm
- TOTAL GFA 191.226sqm
- SITE AREA 418sqm



CLIENT : FEATURE HOMES

Block Q Section AL NGUNNAWAL ACT

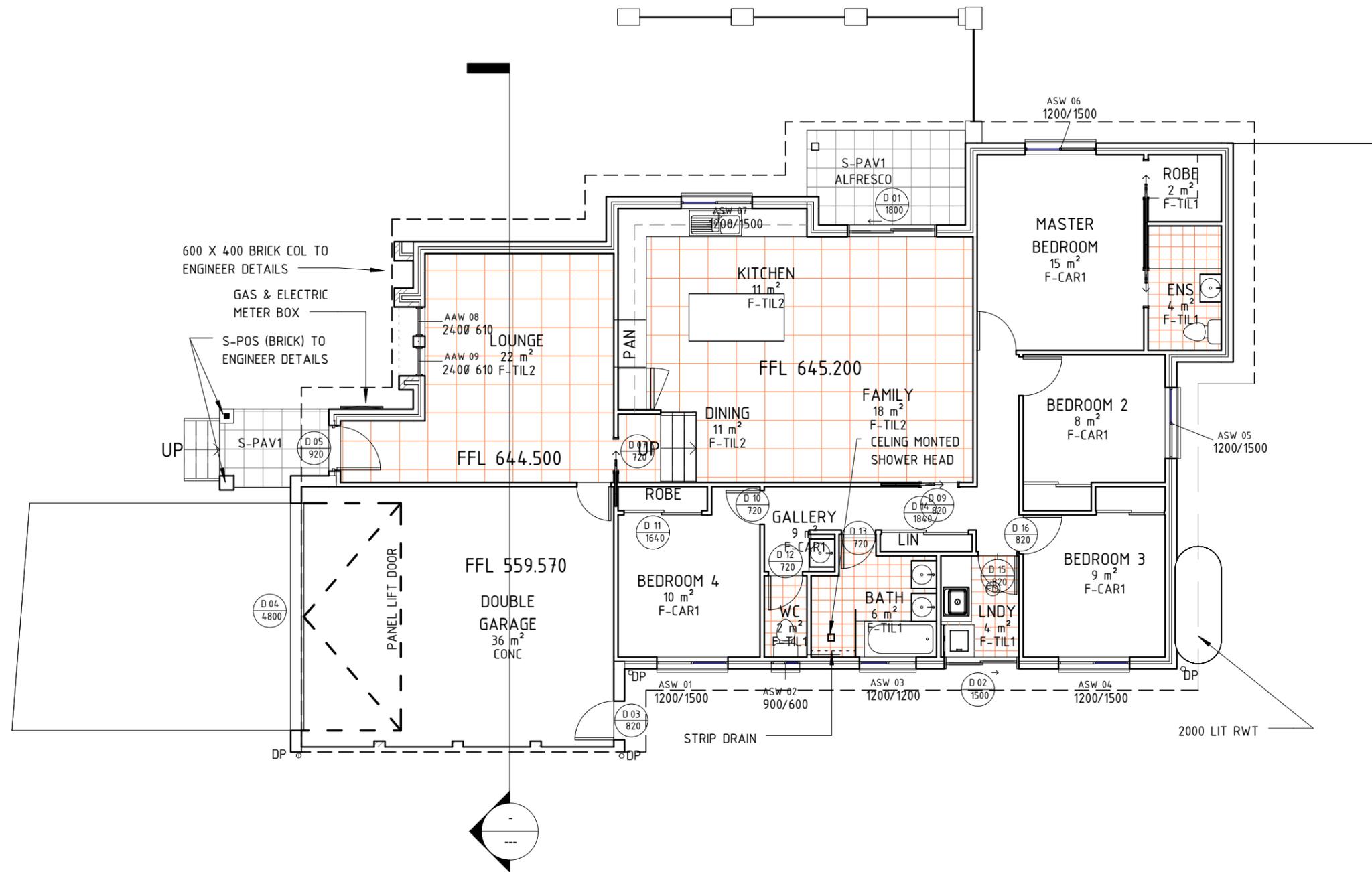
SITE PLAN

DATE: 07/12/11 PROJECT No: 1304
DRAWN: HE DRAWING No: A101
SCALE: 1 : 200 @ A3 REVISION:

Address: 76 Emu Bank Belconnen ACT 2617
PO Box 1136 Dickson ACT 2605 Ph. 0401 006 885
Email: canberra@ModArch.com.au

AMENDMENTS		
NO.	DATE	DETAIL
A	07/12/11	WORKING DRAWING

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CLIENT : FEATURE HOMES
 Block Q Section AL NGUNNAWAL ACT

FLOOR PLAN

DATE: 07/12/11 PROJECT No: 1304
 DRAWN: HE DRAWING No: A102
 SCALE: 1 : 100 @ A3 REVISION:

Address: 76 Emu Bank Belconnen ACT 2617
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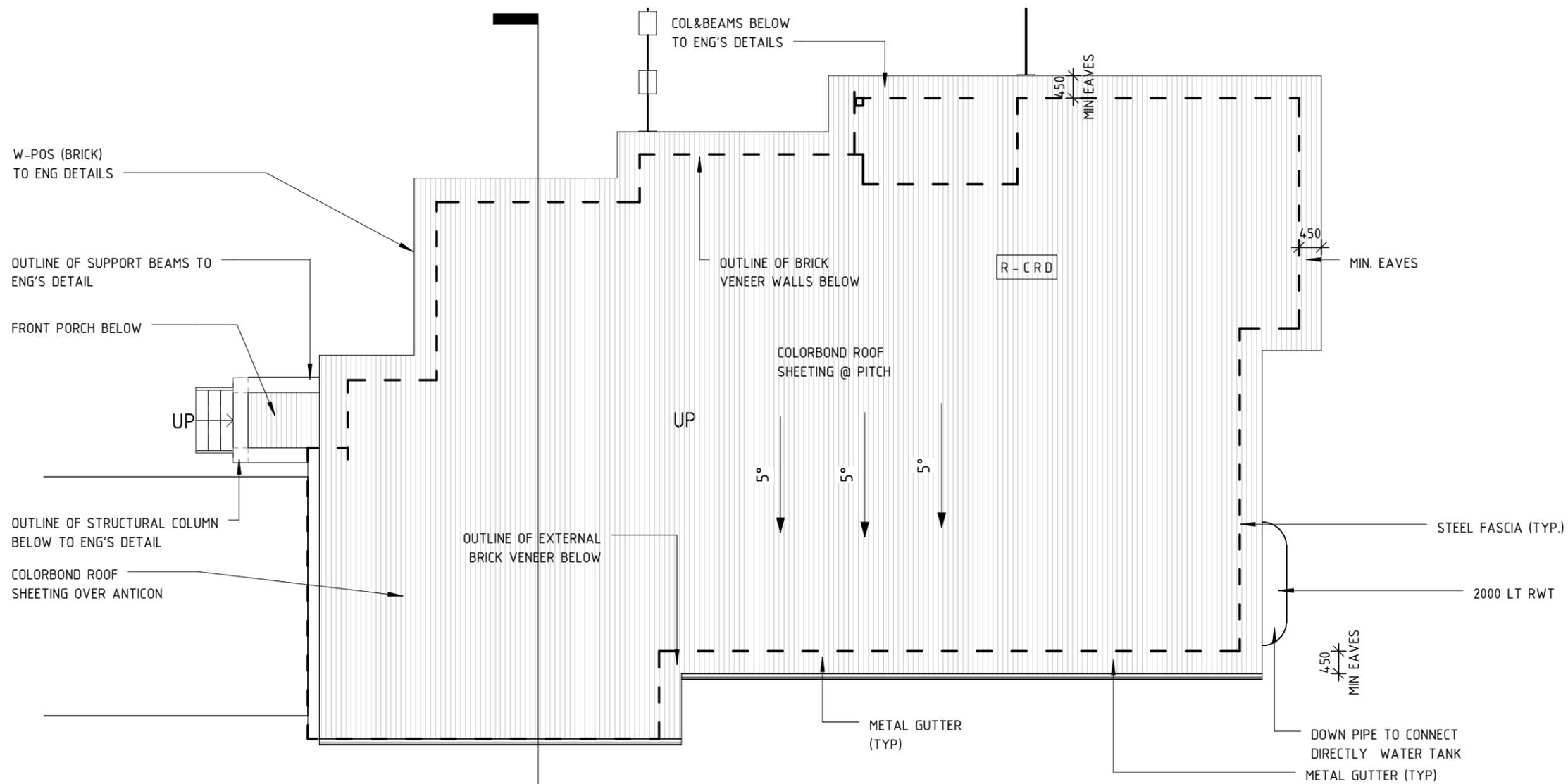
FLOOR TYPE LEGEND

- F-TMB TIMBER FLOOR TO SELECTION
- F-TIL1 TILE TYPE 1 TO SELECTION
- F-TIL2 TILE TYPE 2 TO SELECTION
- F-CAR1 CARPET TYPE 1 TO SELECTION
- F-J01 JOINERY BY OTHERS

AMENDMENTS		
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AREA SCHEDULE	
LIVING AREA	155.809sqm
GARAGE AREA	39.786sqm
ALFRESCO	4.810
PORCH	3.700 sqm
TOTAL GFA	195.595sqm
SITE AREA	418sqm



AREA NOTES

-AREAS ARE CALCULATED TO OUTSIDE OF ENCLOSED EXTERNAL WALLS, INCLUDE GARAGE BUT EXCLUDE ANY AREAS COVERED BY PERGOLA STRUCTURES, VERANDAH & UNENCLOSED ENTRY AREAS, BALCONIES & VOIDS.
 -A MINIMUM AREA OF 30% OF THE TOTAL BLOCK IS TO BE RETAINED FOR SOFT LANDSCAPING

GENERAL NOTES

-SIZE AND BRACING OF ENGAGED PIERS TO COMPLY WITH BCA AND RELEVANT AUTHORITIES & REGULATIONS
 -LIGHTING TO COMPLY WITH CLAUSE 3.12.5.5 OF THE BCA
 -WATER HEATER IN A HOT WATER SUPPLY SYSTEM TO COMPLY WITH CLAUSE 3.12.5.6 OF THE BCA

ENERGY RATING NOTES

AS PER EER REPORT

INDICITIVE WATER SAVING MEASURES

-TANK TO COLLECT 50% OF ROOF'S RAINWATER
 -TANK TO BE CONNECTED TO TOILET
 -TANK TO BE CONNECTED TO LAUNDRY COLD TAP

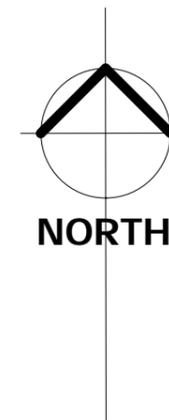
BUSHFIRE MEASURES

-SARKING TO U/S OF ROOF TILES
 -METAL LEAF GUARD TO GUTTERS
 -SPARK ARESSTOR
 -ALUMINUM MESH TO FLY SCREEN
 -1 WHIRLY BIRD TO LOWER ROOF
 -1 WHIRLY BIRD TO UPPER ROOF

'CONSTRUCTION OF BUILDING IN BUSHFIRE PRONE AREAS TO BE COMPLIED WITH BUSHFIRE ATTACH LEVEL (BAL)-19 KW/M2 IN THE AUSTRALIAN STANDARD AS 3959.'

ROOF LEGEND

- R-CRD1 COLORBOND ROOF DECKING TYPE 1 & 3 DEG PITCH TO SELECTION
- R-PC COLORBOND PARAPET CAPPING CAPPING TO SELECTION
- R-FG COLORBOND FASCIA & GUTTER TO SELECTION
- R-BC COLORBOND BARGE CAPPING TO SELECTION



CLIENT : FEATURE HOMES

Block Q Section AL NGUNNAWAL ACT

ROOF PLAN

DATE: 07/12/11 PROJECT No: 1304
 DRAWN: HE DRAWING No: A103
 SCALE: 1 : 100 @ A3 REVISION:

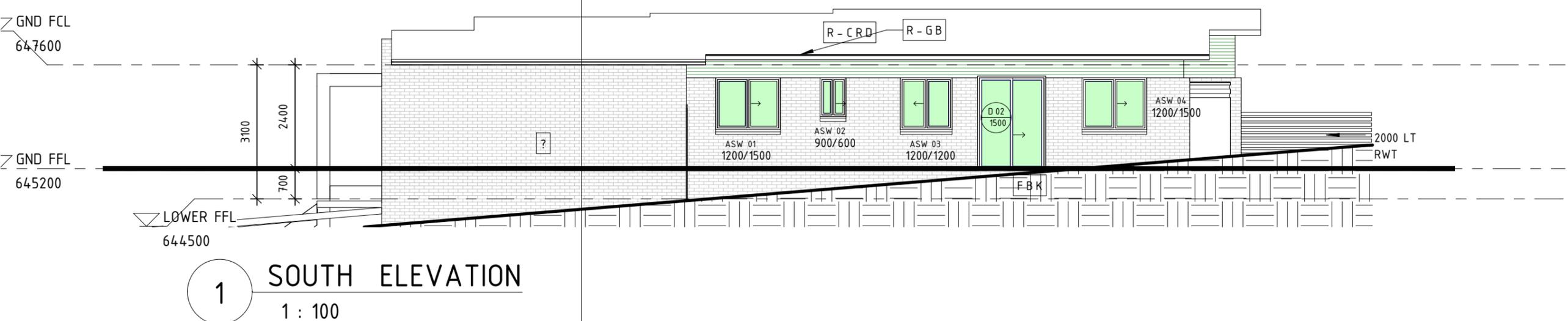
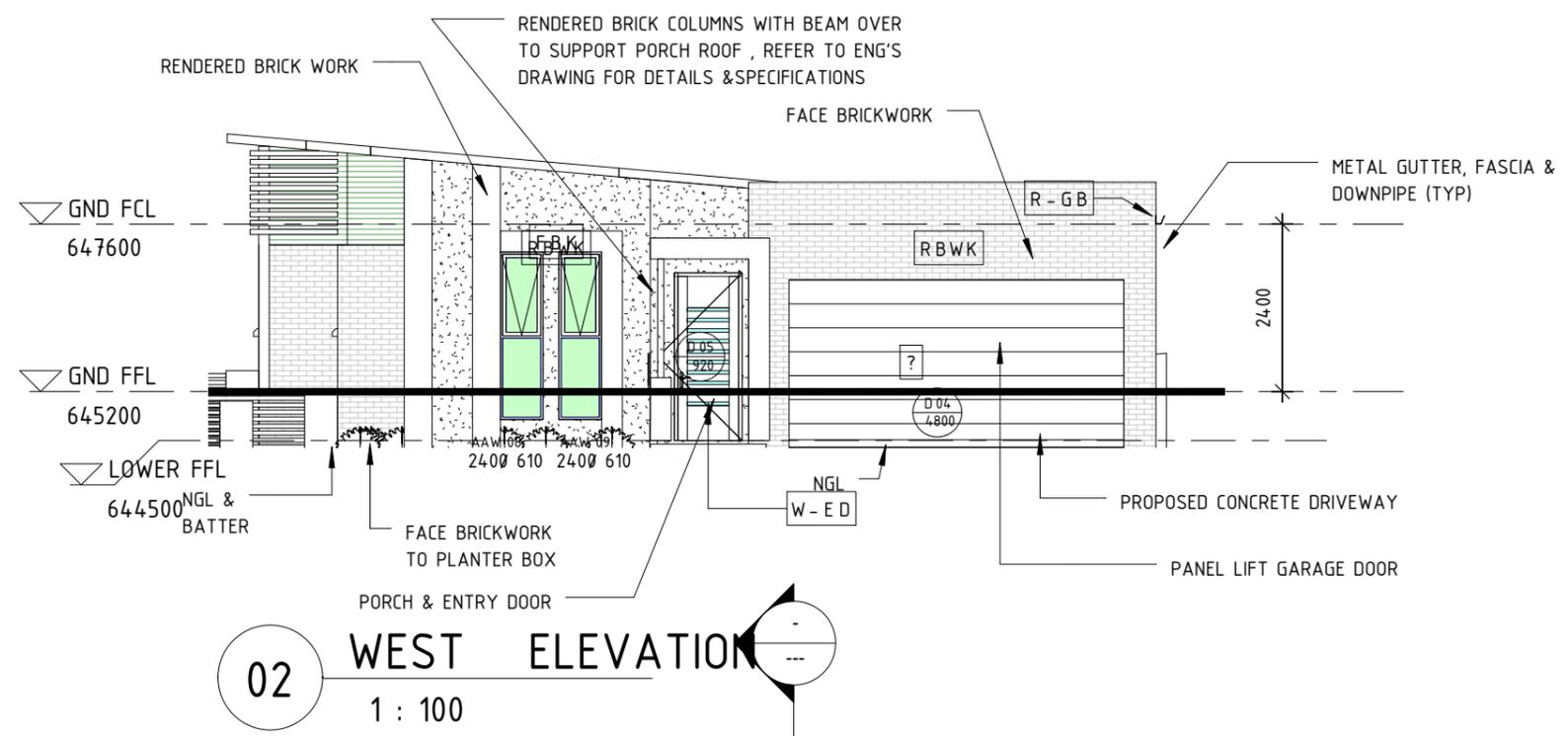
Address:76 Emu Bank Belconnen ACT 2617
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AMENDMENTS		
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AREA SCHEDULE

LIVING AREA 155.809sqm
 GARAGE AREA 39.786sqm
 ALFRESCO 4.810
 PORCH 3.700 sqm
 TOTAL GFA 195.595sqm
 SITE AREA 418sqm



GENERAL LEGEND

- W-AW** POWDERCOATED ALUMINUM FRAMED WINDOWS TO SELECTION
- W-ASD** POWDERCOATED ALUMINUM FRAMED SLIDING DOORS TO SELECTION
- W-GD** SELECTED GARAGE DOOR
- W-ED** SELECTED ENTRY DOOR
- W-RD** SELECTED REAR DOOR
- W-GBAL** PROPRIETARY GLASS BALUSTRADE SYSTEM. FIXING & INSTALLATION TO MANUFACTURER'S RECOMMENDATION

ELEVATION NOTES

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, DOCUMENTATION, SCHEDULES AND SPECIFICATIONS

BUILDER TO CHECK AND CONFIRM ALL SITE AND SET OUT DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION

ALL CONSTRUCTION TO COMPLY WITH RELEVANT AUSTRALIAN BUILDING CODES AND STANDARDS

GROUND LEVELS AND FINISHED FLOOR LEVELS INDICATED ARE APPROXIMATE ONLY AND ARE TO BE CONFIRMED ON SITE

ELEVATION LEGEND

- PTP** PAINT FINISH TIMBER POST
- GM** GAS METER LOCATION
- FBK** FACE BRICK WORK
- MAIL** MAIL BOX
- NGL** NATURAL GROUND LINE
- FGL** FINISH GROUND LINE
- DP** DOWNPIPE
- SB** SITE BOUNDARY
- BJ** BRICK EXPANSION JOINT(LOCATIONS TO BE VERIFIED AND CONFIRMED BY STRUCTURAL ENGINEERS)

ROOF LEGEND

- HWS** HOT WATER SYSTEM
- MB** ELECTRICITY METER BOX
- RBWK** RENDERED & PAINTED BRICKWORK
- RSF** RENDERED & PAINTED STYRENE FOAM
- RCP** RENDERED & PAINTED FIBRE CEMENT SHEETING
- RTL** OUTLINE OF RETAINING WALL
- SL** SKYLIGHT
- SP** SOLAR PANEL
- LC** LIGHT WEIGHT CLADDING TO SELECTION

ROOF LEGEND

- R-CRD1** COLORBOND ROOF SHEETING TYPE 1 @ 5° PITCH TO SELECTION
- R-BG** 600W x 200D ZINCALUME BOX GUTTER TO SELECTION BEYOND
- R-RH** COLORBOND RAINHEAD WITH 60φ OVERFLOW POP TO SELECTION
- R-PC** COLORBOND PARAPET CAPPING TO SELECTION
- R-FG** COLORBOND FASCIA & GUTTER TO SELECTION
- R-BC** COLORBOND BARGE CAPPING TO SELECTION
- R-CRT** CONCRETE ROOF TILES TO SELECTION



CLIENT : FEATURE HOMES

Block Q Section AL NGUNNAWAL ACT

ELEVATIONS SHEET 1

DATE: 07/12/11 PROJECT No: 1304

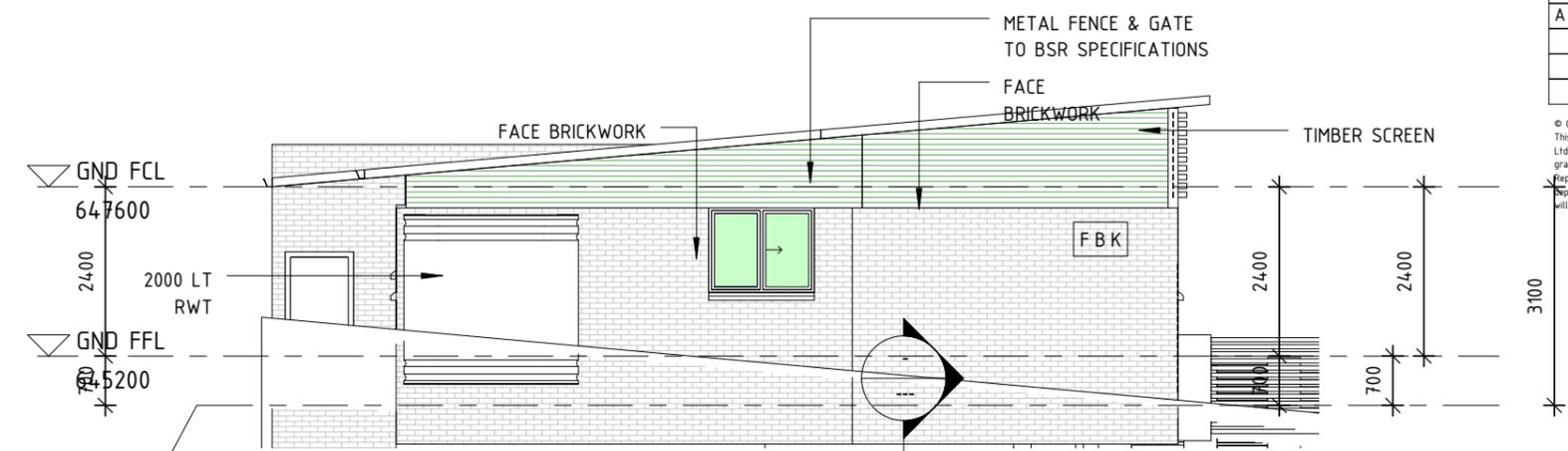
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SCALE: 1 : 100 @ A3 REVISION:

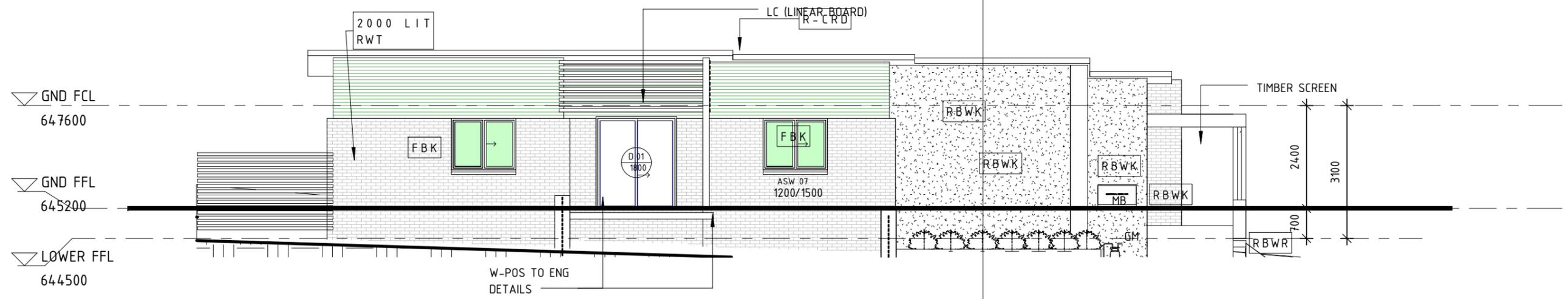
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AMENDMENTS		
NO.	DATE	DETAIL
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2 EAST ELEVATION
 1 : 100



1 NORTH ELEVATION
 1 : 100

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ELEVATION LEGEND

- PTP** PAINT FINISH TIMBER POST
- GM** GAS METER LOCATION
- FBK** FACE BRICK WORK
- MAIL** MAIL BOX
- NGL** NATURAL GROUND LINE
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- DP** DOWNPIPE
- SB** SITE BOUNDARY
- BJ** BRICK EXPANSION JOINT(LOCATIONS TO BE VERIFIED AND CONFIRMED BY STRUCTURAL ENGINEERS)

- HWS** HOT WATER SYSTEM
- MB** ELECTRICITY METER BOX
- RBWK** RENDERED & PAINTED BRICKWORK
- RSF** RENDERED & PAINTED STYRENE FOAM
- RCP** RENDERED & PAINTED FIBRE CEMENT SHEETING
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- SL** SKYLIGHT
- SP** SOLAR PANEL
- LC** LIGHT WEIGHT CLADDING TO SELECTION

ROOF LEGEND

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- R-FG** COLORBOND FASCIA & GUTTER TO SELECTION
- R-BC** COLORBOND BARGE CAPPING TO SELECTION
- R-CRT** CONCRETE ROOF TILES TO SELECTION



CLIENT : FEATURE HOMES

Block Q Section AL NGUNNAWAL ACT

ELEVATIONS SHEET 2

DATE: 01/14/13 PROJECT No: 1304
 DRAWN: HE DRAWING No: A105
 SCALE: 1 : 100 @ A3 REVISION:

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AMENDMENTS		
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AREA SCHEDULE

LIVING AREA 155.809sqm
GARAGE AREA 39.786sqm
ALFRESCO 4.810
PORCH 3.700 sqm
TOTAL GFA 195.595sqm
SITE AREA 418sqm

Window Schedule		
Mark	Height	Width
01	1200	1500
02	900	600
03	1200	1200
04	1200	1500
05	1200	1500
06	1200	1500
07	1200	1500
08	2400	610
09	2400	610

Grand total: 9

Door Schedule			
Mark	Height	Width	Comments
01	2100	1800	
02	2100	1500	
03	2100	820	
04	2400	4800	
05	2400	920	
07	2100	720	
09	2100	820	
10	2100	720	
11	2040	1640	
12	2100	720	

Door Schedule			
Mark	Height	Width	Comments
13	2100	720	
14	2040	1840	
15	2100	820	
16	2100	820	
19	2040	1440	
20	2040	1440	
21	2100	820	
22	2100	820	
23	2100	820	
24	2100	820	
25	2100	720	

Grand total: 21

AREA NOTES

-AREAS ARE CALCULATED TO OUTSIDE OF ENCLOSED EXTERNAL WALLS, INCLUDE GARAGE BUT EXCLUDE ANY AREAS COVERED BY PERGOLA STRUCTURES, VERANDAH & UNENCLOSED ENTRY AREAS, BALCONIES & VOIDS.

-A MINIMUM AREA OF 30% OF THE TOTAL BLOCK IS TO BE RETAINED FOR SOFT LANDSCAPING

GENERAL NOTES

-SIZE AND BRACING OF ENGAGED PIERS TO COMPLY WITH BCA AND RELEVANT AUTHORITIES & REGULATIONS

-LIGHTING TO COMPLY WITH CLAUSE 3.12.5.5 OF THE BCA

-WATER HEATER IN A HOT WATER SUPPLY SYSTEM TO COMPLY WITH CLAUSE 3.12.5.6 OF THE BCA

ENERGY RATING NOTES

AS PER EER REPORT

INDICATIVE WATER SAVING MEASURES

-TANK TO COLLECT 50% OF ROOF'S RAINWATER

-TANK TO BE CONNECTED TO TOILET

-TANK TO BE CONNECTED TO LAUNDRY COLD TAP

BUSHFIRE MEASURES

-SARKING TO U/S OF ROOF TILES

-METAL LEAF GUARD TO GUTTERS

-SPARK ARRESTOR

-ALUMINUM MESH TO FLY SCREEN

-1 WHIRLY BIRD TO LOWER ROOF

-1 WHIRLY BIRD TO UPPER ROOF

'CONSTRUCTION OF BUILDING IN BUSHFIRE

PRONE AREAS TO BE COMPLIED WITH

BUSHFIRE ATTACH LEVEL (BAL)-19 KW/M2

IN THE AUSTRALIAN STANDARD AS 3959.'



modarch
PTY LTD

CLIENT : FEATURE HOMES

Block Q Section AL NGUNNAWAL ACT

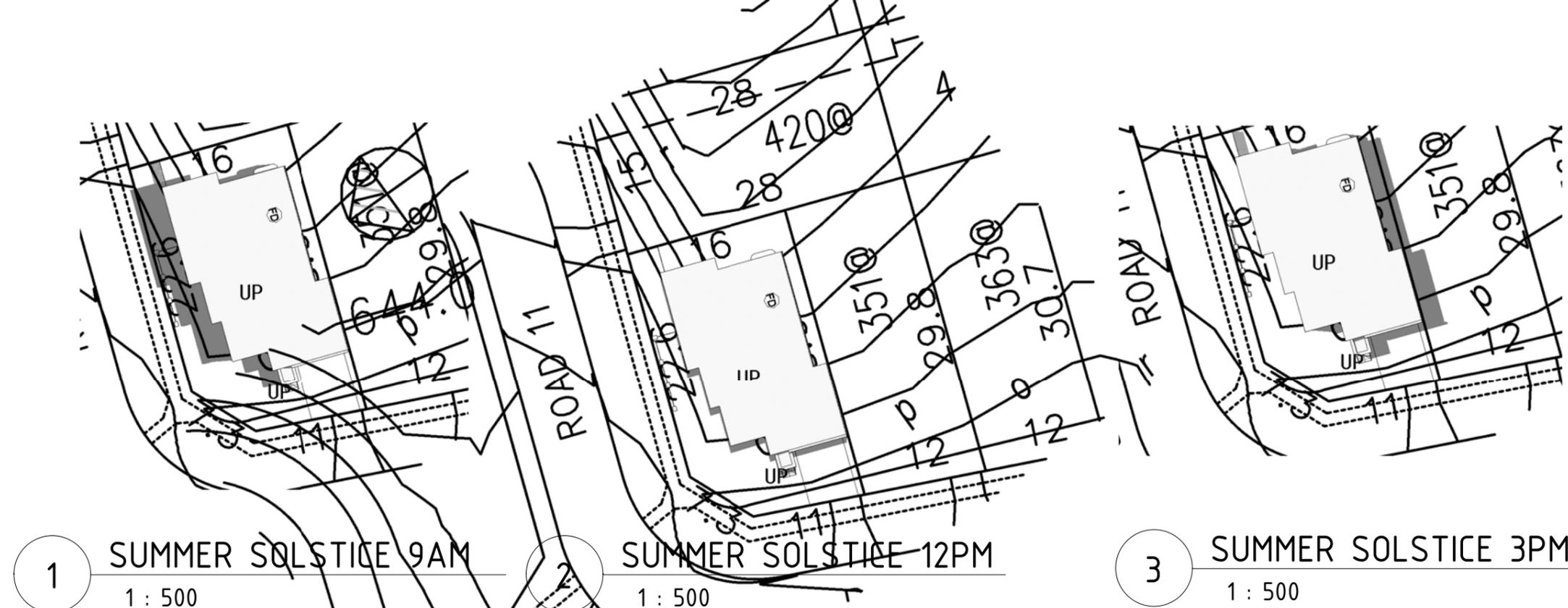
SECTION

DATE: 07/12/11 PROJECT No: 1304
DRAWN: HE DRAWING No: A106
SCALE: @ A3 REVISION:

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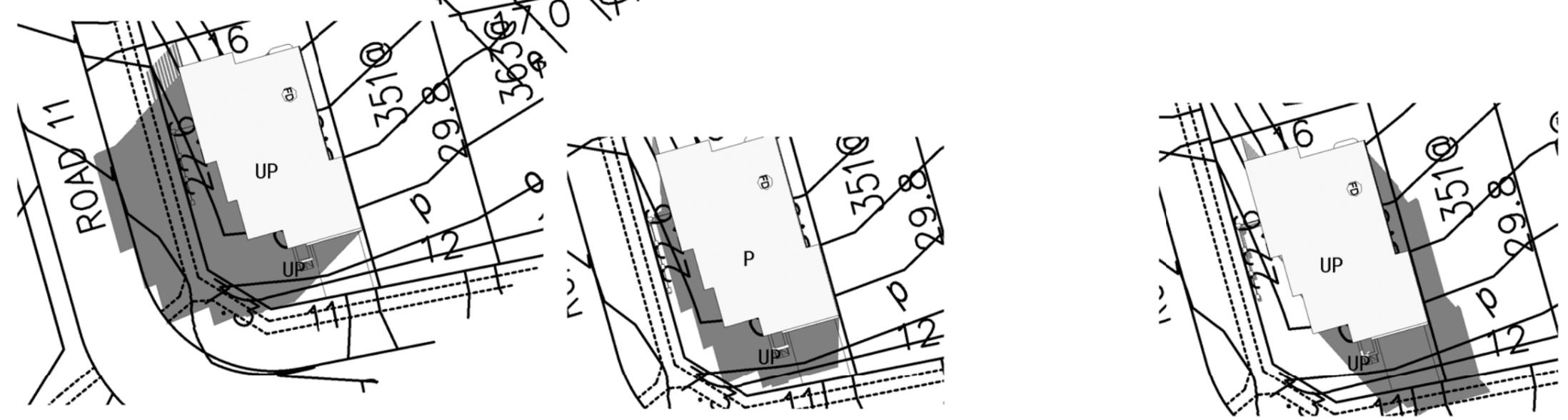
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1 SUMMER SOLSTICE 9AM
1 : 500

2 SUMMER SOLSTICE 12PM
1 : 500

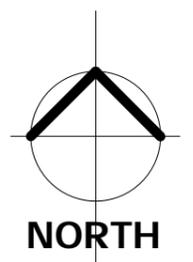
3 SUMMER SOLSTICE 3PM
1 : 500



4 WINTER SOLSTICE 9AM
1 : 500

5 WINTER SOLSTICE 12PM
1 : 500

6 WINTER SOLSTICE 3PM
1 : 500



CLIENT : FEATURE HOMES
 Block Q Section AL NGUNNAWAL ACT

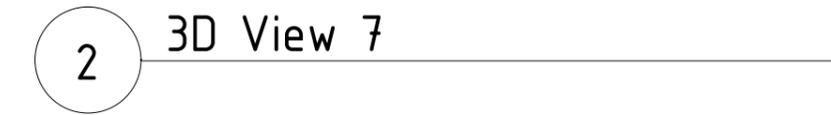
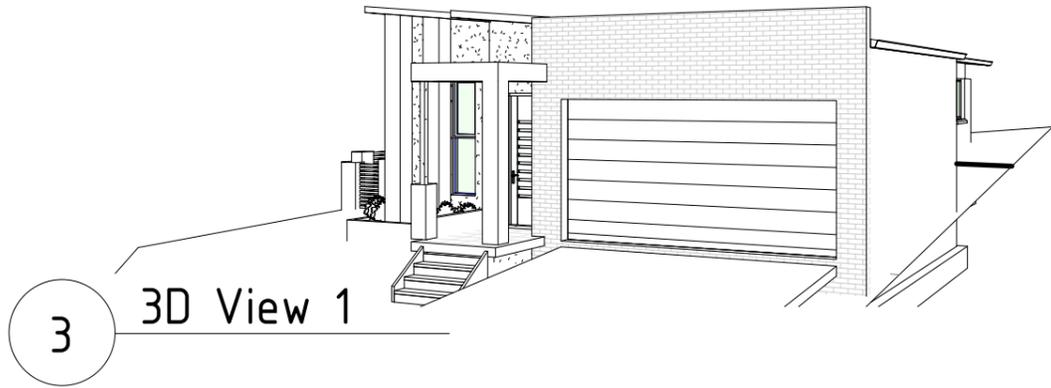
SHADOW DIAGRAM

DATE: 07/12/11 PROJECT No: 1304
 DRAWN: HE DRAWING No: A107
 SCALE: 1 : 500 @ A3 REVISION:

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4 3D View 6



AREA NOTES

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AS PER EER REPORT

INDICATIVE WATER SAVING MEASURES

- TANK TO COLLECT 50% OF ROOF'S RAINWATER
- TANK TO BE CONNECTED TO TOILET
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BUSHFIRE MEASURES

- SARKING TO U/S OF ROOF TILES
 - METAL LEAF GUARD TO GUTTERS
 - SPARK ARESSTOR
 - ALUMINUM MESH TO FLY SCREEN
 - 1 WHIRLY BIRD TO LOWER ROOF
 - 1 WHIRLY BIRD TO UPPER ROOF
- 'CONSTRUCTION OF BUILDING IN BUSHFIRE PRONE AREAS TO BE COMPLIED WITH BUSHFIRE ATTACH LEVEL (BAL)-19 KW/M2 IN THE AUSTRALIAN STANDARD AS 3959.'**



CLIENT : FEATURE HOMES

Block Q Section AL NGUNNAWAL ACT

3D VIEWS

DATE: 07/12/11 PROJECT No: 1304
 DRAWN: HE DRAWING No: A108
 SCALE: @ A3 REVISION:

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