



PO Box 1136 DICKSON ACT 2602 Ph. 0401 006 885

Block Q Section AL NGUNNAWAL ACT

CLIENT : FEATURE HOMES

WORKING DRAWINGS

Issue Date MAY 2013

COVER SHEET

JOB NO. 1304



#### Drawing List

Sheet Number	Sheet Name	Drawn By	Current Revision	Current Revision Description
A100	COVER SHEET	HE	A	WORKING DRAWING
A101	SITE PLAN	HE	A	WORKING DRAWING
A102	FLOOR PLAN	HE	A	WORKING DRAWING
A103	ROOF PLAN	HE	A	WORKING DRAWING
A104	ELEVATIONS SHEET 1	HE	A	WORKING DRAWING
A105	ELEVATIONS SHEET 2	HE	A	WORKING DRAWING
A106	SECTION	HE	A	WORKING DRAWING
A107	SHADOW DIAGRAM	HE	A	WORKING DRAWING
A108	3D VIEWS	HE	A	WORKING DRAWING

ENVIRONMENTAL PROTECTION GUIDELINES - RESIDENTIAL BLOCKS

- MAINTAIN AS MANY GRASSED AREA AS POSSIBLE PARTICULARLY ON THE VERGES TO TRAP SOIL BEFORE IT REACHES THE ROADWAY AND STORMWATER SYSTEM. FENCE OFF UNDISTURBED AREAS
- USE ONLY ONE EXIT/ENTRY TO THE SITE, BUILD A STABILISED ACCESS POINT BY USING ROAD BASE, 50MM AGGREGATE, RECYCLED CONCRETE OR SIMILAR
- ASSIGN DESIGNATED PARKING AREA
- LIMIT ACCESS TO THE SITE DURING AND IMMEDIATELY AFTER WET WEATHER
- THE DEVELOPMENT COMPLIES WITH THE *BEST PRACTICE GUIDELINES - PREVENT POLLUTION FROM RESIDENTIAL BUILDING SITES, MARCH 2006*
- KEEP STOCKPILE WITHIN THE SITE AREA AND AWAY FROM THE STORMWATER SYSTEM
- INSTALL A SEDIMENT CONTROL BARRIER OF GEO TEXTILE FABRIC ON THE LOW SIDE/S

CONSTRUCT THE BLOCK BUILDING IN BUSHFIRE PRONE AREAS TO BE COMPLIED WITH BUSHFIRE ATTACH LEVEL (BAL)-19 KW/M2 IN THE AUSTRALIAN STANDARD AS 3959.'

- DESIGNATE A BRICK CUTTING AND WASH AREA AWAY FROM STORMWATER DRAINS. ENSURE THE AREA IS LARGE ENOUGH TO CONTAIN ALL EXCESS WATER, RESIDUES AND WASTE.
- REGULARLY CHECK AND MAINTAIN POLLUTION CONTROLS THROUGHOUT CONSTRUCTION (REFER TO ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION & LAND DEVELOPMENT IN A.C.T
- DEVELOPMENT COMPLIES WITH THE ACT ENVIRONMENT PROTECTION AUTHORITY, ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE ACT AUGUST 2007

SITE LEGEND

S-PAV1 PAVING TYPE 1 TO SELECTION

GENERAL

LEGEND

- W-ASD POWDERCOATED ALUMINIUM FRAMED SLIDING DOORS TO SELECTION
- W-GD SELECTED GARAGE DOOR
- W-ED SELECTED ENTRY DOOR
- W-RD SELECTED REAR DOOR
- W-AW POWDERCOATED ALUMINUM FRAMED WINDOWS TO SELECTION
- W-POS 200 x 200 PAINTED TIMBER POSTS

WALL LEGEND

- BRICK VENEER WALL:  
1 LEAF OF 230x110x76 FACE BRICK. RENDERED & PAINTED AS PER ELEVATIONS. COLOUR TO SELECTION. 40MM CAVITY. 1 LAYER OF 10MM PLASTERBOARD (MOISTURE RESISTANCE PLASTERBOARD TO WET AREAS) INTERNAL LINING TO STUD FRAMING. PAINT FINISH. INSULATION AS SPECIFIED.
- PARTITION:  
1 LAYER OF 10MM PLASTERBOARD LINING TO BOTH SIDES OF STUD FRAMING. INSULATION AS SPECIFIED. (NOTE: MOISTURE RESISTANCE PLASTERBOARD TO WET AREA SIDE).
- HARDITEX CLADDING (HC):  
HARDITEX CLADDING SYSTEM WITH APPROVED ACRATEX COATING TO EXTERNAL SIDE OF STUD FRAMING. PAINTED AS PER ELEVATIONS. COLOUR TO SELECTION. INSTALLED TO MANUFACTURER'S WRITTEN INSTRUCTIONS.

LEGEND

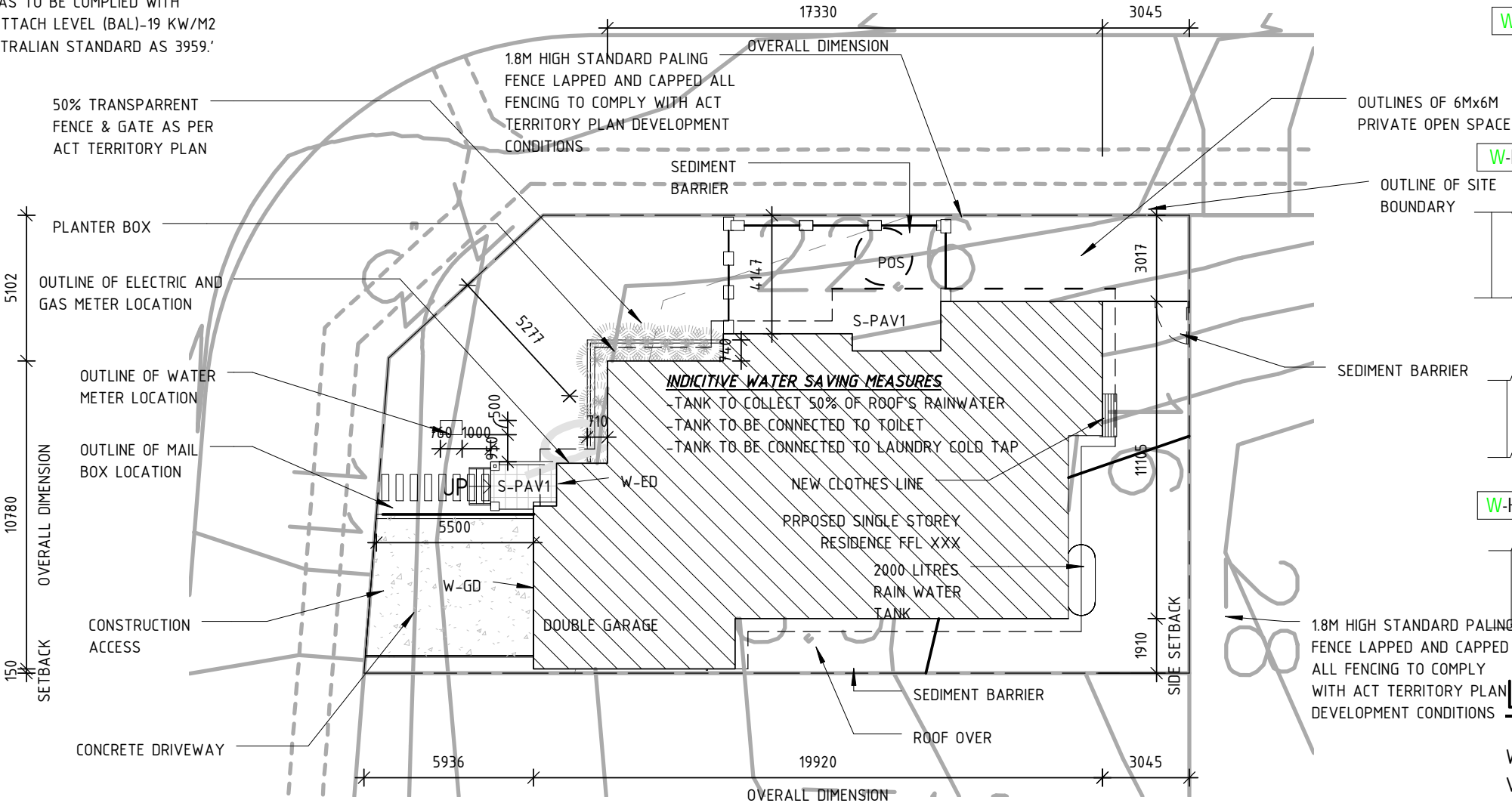
- WC WATER CLOSET
- V VANITY BASIN
- S STAINLESS STEEL SINK
- F FRIDGE
- HP HOT PLATE
- TUB BATH TUB
- SH SHOWER
- WM WASHING MACHINE
- TR LAUNDRY TROUGH
- DP DOWNPIPE
- Ⓢ SMOKE ALARM
- DP DOWNPIPE

AMENDMENTS		
NO.	DATE	DETAIL
A	07/12/11	WORKING DRAWING

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AREA SCHEDULE

LIVING AREA 151.44sqm  
GARAGE AREA 39.786sqm  
ALFRESCO 4.810  
PORCH 3.700 sqm  
TOTAL GFA 191.226sqm  
SITE AREA 418sqm



**NOTE: AS PER VILLAGE BUILDING COMPANY'S ADVICE  
BUYERS ARE ADVISED TO INDEPENDENTLY VERIFY BLOCK LEVELS PRIOR TO CONSTRUCTION.  
THE LEVELS SHOWN HERE ARE INDICATIVE ONLY . BUYERS & BUILDER MUST CHECK LEVELS  
BY ENGAGING REGISTERED SURVEYOR PRIOR COMMENCING CONSTRUCTION .**



CLIENT : FEATURE HOMES

Block Q Section AL NGUNNAWAL ACT

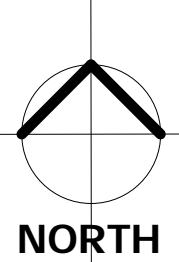
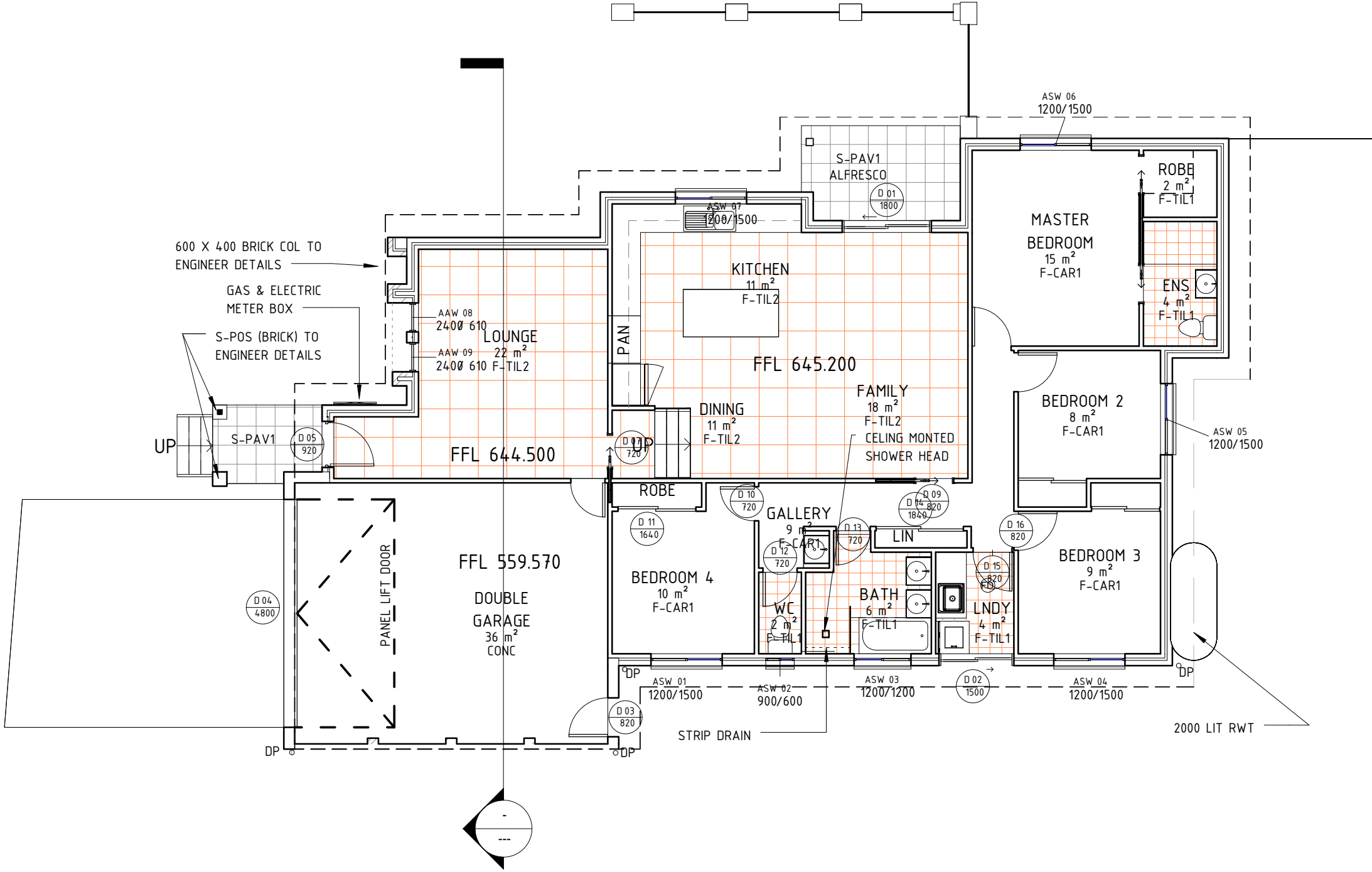
SITE PLAN

DATE: 07/12/11 PROJECT No: 1304  
DRAWN: HE DRAWING No: A101  
SCALE: 1 : 200 @ A3 REVISION:

Address:76 Emu Bank Belconnen ACT 2617  
PO Box 1136 Dickson ACT 2605 Ph. 0401 006 885  
Email: canberra@ModArch.com.au

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## FLOOR TYPE LEGEND

F-TMB	TIMBER FLOOR TO SELECTION
F-TIL1	TILE TYPE 1 TO SELECTION
F-TIL2	TILE TYPE 2 TO SELECTION
F-CAR1	CARPET TYPE 1 TO SELECTION
F-J01	JOINERY BY OTHERS

CLIENT : FEATURE HOMES

Block Q Section AL NGUNNAWAL ACT

FLOOR PLAN

DATE: 07/12/11	PROJECT No: 1304
DRAWN: HE	DRAWING No: A102
SCALE: 1 : 100 @ A3	REVISION:

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AREA SCHEDULE

LIVING AREA 155.809sqm  
GARAGE AREA 39.786sqm  
ALFRESCO 4.810  
PORCH 3.700 sqm  
TOTAL GFA 195.595sqm  
SITE AREA 418sqm



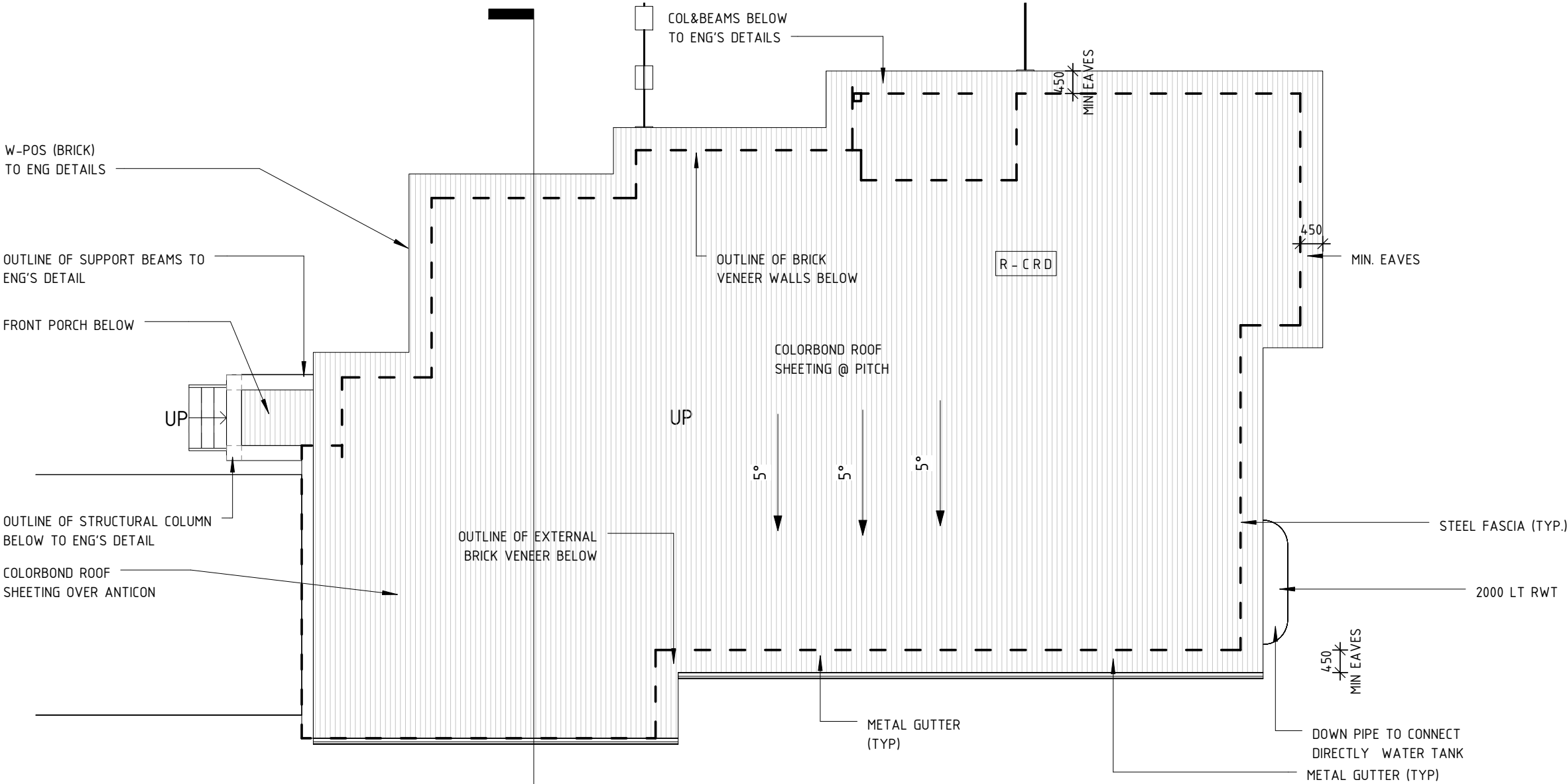
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Block Q Section AL NGUNNAWAL ACT

ROOF PLAN

DATE: 07/12/11 PROJECT No: 1304  
DRAWN: HE DRAWING No: A103  
SCALE: 1 : 100 @ A3 REVISION:

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PO Box 1136 Dickson ACT 2605 Ph. 0401 006 885  
Email: canberra@ModArch.com.au



AREA NOTES

-AREAS ARE CALCULATED TO OUTSIDE OF ENCLOSED EXTERNAL WALLS, INCLUDE GARAGE BUT EXCLUDE ANY AREAS COVERED BY PERGOLA STRUCTURES, VERANDAH & UNENCLOSED ENTRY AREAS, BALCONIES & VOIDS.  
-A MINIMUM AREA OF 30% OF THE TOTAL BLOCK IS TO BE RETAINED FOR SOFT LANDSCAPING

GENERAL NOTES

-SIZE AND BRACING OF ENGAGED PIERS TO COMPLY WITH BCA AND RELEVANT AUTHORITIES & REGULATIONS  
-LIGHTING TO COMPLY WITH CLAUSE 3.12.5.5 OF THE BCA  
-WATER HEATER IN A HOT WATER SUPPLY SYSTEM TO COMPLY WITH CLAUSE 3.12.5.6 OF THE BCA

ENERGY RATING NOTES

AS PER EER REPORT

INDICITIVE WATER SAVING MEASURES

-TANK TO COLLECT 50% OF ROOF'S RAINWATER  
-TANK TO BE CONNECTED TO TOILET  
-TANK TO BE CONNECTED TO LAUNDRY COLD TAP

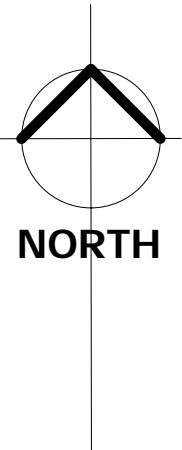
BUSHFIRE MEASURES

-SARKING TO U/S OF ROOF TILES  
-METAL LEAF GUARD TO GUTTERS  
-SPARK ARESSTOR  
-ALUMINUM MESH TO FLY SCREEN  
-1 WHIRLY BIRD TO LOWER ROOF  
-1 WHIRLY BIRD TO UPPER ROOF

'CONSTRUCTION OF BUILDING IN BUSHFIRE PRONE AREAS TO BE COMPLIED WITH BUSHFIRE ATTACH LEVEL (BAL)-19 KW/M2 IN THE AUSTRALIAN STANDARD AS 3959.'

ROOF LEGEND

- R-CRD1 COLORBOND ROOF DECKING TYPE 1 &3 DEG PITCH TO SELECTION
- R-PC COLORBOND PARAPET CAPPING CAPPING TO SELECTION
- R-FG COLORBOND FASCIA & GUTTER TO SELECTION
- R-BC COLORBOND BARGE CAPPING TO SELECTION

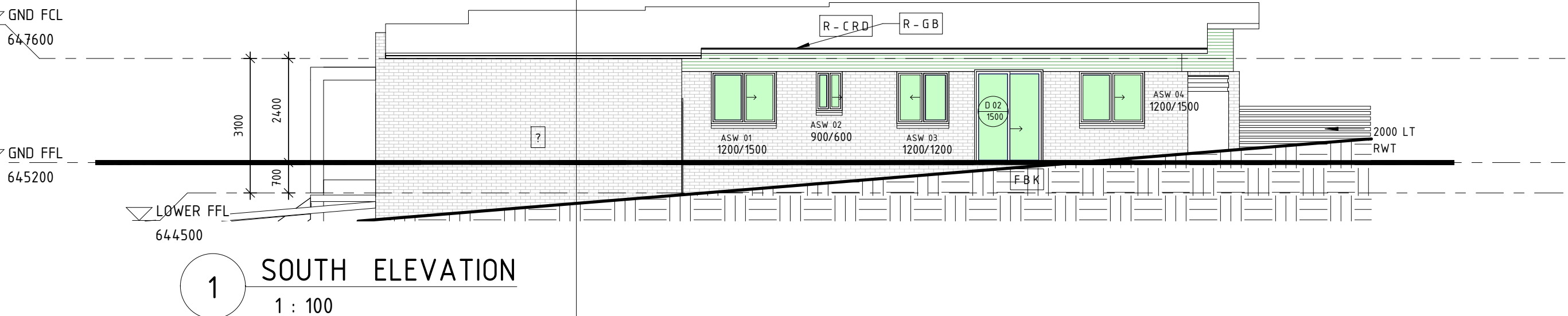
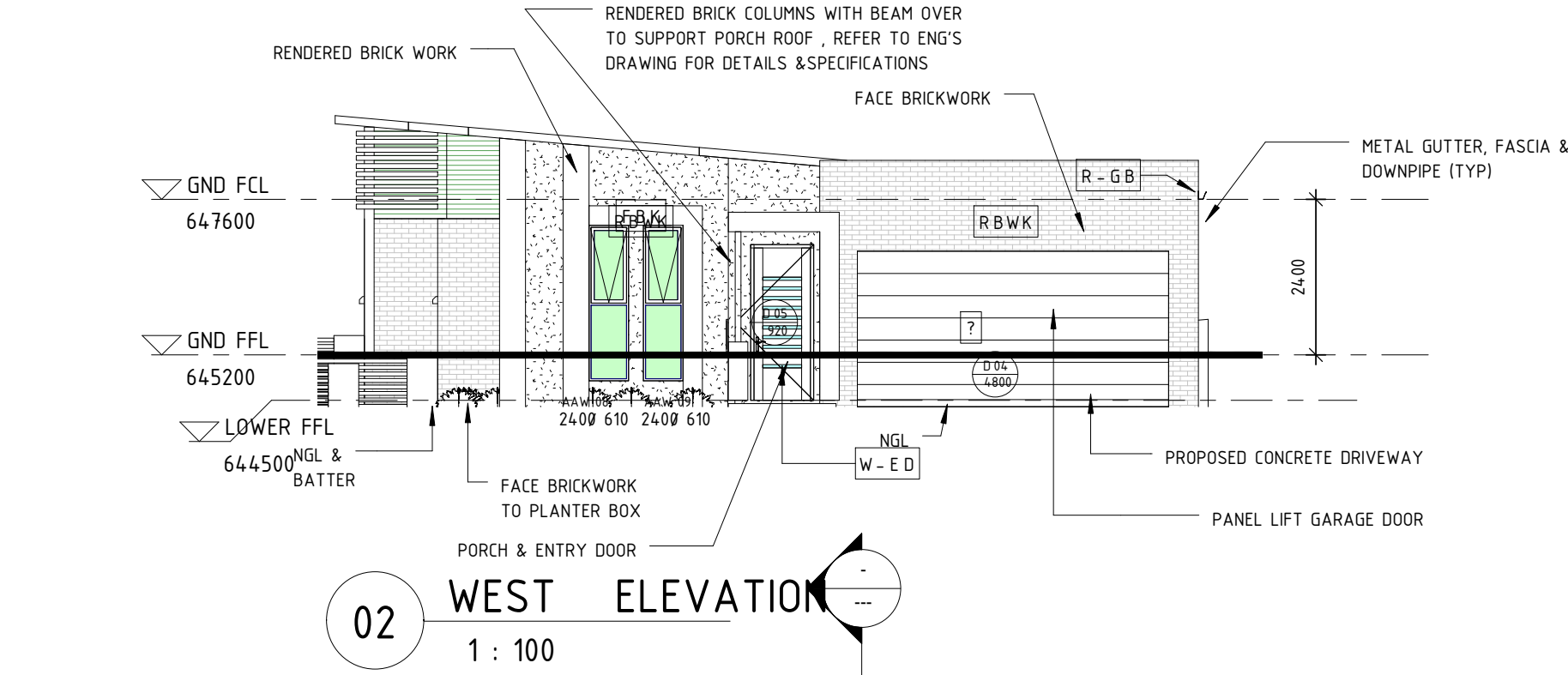


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AREA SCHEDULE

LIVING AREA 155.809sqm  
GARAGE AREA 39.786sqm  
ALFRESCO 4.810  
PORCH 3.700 sqm  
TOTAL GFA 195.595sqm  
SITE AREA 418sqm



GENERAL LEGEND

- W-AW** POWDERCOATED ALUMINUM FRAMED WINDOWS TO SELECTION
- W-ASD** POWDERCOATED ALUMINIUM FRAMED SLIDING DOORS TO SELECTION
- W-GD** SELECTED GARAGE DOOR
- W-ED** SELECTED ENTRY DOOR
- W-RD** SELECTED REAR DOOR
- W-GBAL** PROPRIETARY GLASS BALUSTRADE SYSTEM. FIXING & INSTALLATION TO MANUFACTURER'S RECOMMENDATION

ELEVATION NOTES

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, DOCUMENTATION, SCHEDULES AND SPECIFICATIONS

BUILDER TO CHECK AND CONFIRM ALL SITE AND SET OUT DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION

ALL CONSTRUCTION TO COMPLY WITH RELEVANT AUSTRALIAN BUILDING CODES AND STANDARDS

GROUND LEVELS AND FINISHED FLOOR LEVELS INDICATED ARE APPROXIMATE ONLY AND ARE TO BE CONFIRMED ON SITE

ELEVATION LEGEND

- PTP** PAINT FINISH TIMBER POST
- GM** GAS METER LOCATION
- FBK** FACE BRICK WORK
- MAIL** MAIL BOX
- NGL** NATURAL GROUND LINE
- FGL** FINISH GROUND LINE
- DP** DOWNPIPE
- SB** SITE BOUNDARY
- BJ** BRICK EXPANSION JOINT(LOCATIONS TO BE VERIFIED AND CONFIRMED BY STRUCTURAL ENGINEERS )

- HWS** HOT WATER SYSTEM
- MB** ELECTRICITY METER BOX
- RBWK** RENDERED & PAINTED BRICKWORK
- RSF** RENDERED & PAINTED STYRENE FOAM
- RCP** RENDERED & PAINTED FIBRE CEMENT SHEETING
- RTL** OUTLINE OF RETAINING WALL
- SL** SKYLIGHT
- SP** SOLAR PANEL
- LC** LIGHT WEIGHT CLADDING TO SELECTION

ROOF LEGEND

- R-CRD1** COLORBOND ROOF SHEETING TYPE 1 @ 5° PITCH TO SELECTION
- R-BG** 600W x 200D ZINCALUME BOX GUTTER TO SELECTION BEYOND
- R-RH** COLORBOND RAINHEAD WITH 60ø OVERFLOW POP TO SELECTION
- R-PC** COLORBOND PARAPET CAPPING TO SELECTION
- R-FG** COLORBOND FASCIA & GUTTER TO SELECTION
- R-BC** COLORBOND BARGE CAPPING TO SELECTION
- R-CRT** CONCRETE ROOF TILES TO SELECTION



CLIENT : FEATURE HOMES

Block Q Section AL NGUNNAWAL ACT

ELEVATIONS SHEET 1

DATE: 07/12/11 PROJECT No: 1304

DRAWN: HE DRAWING No: A104

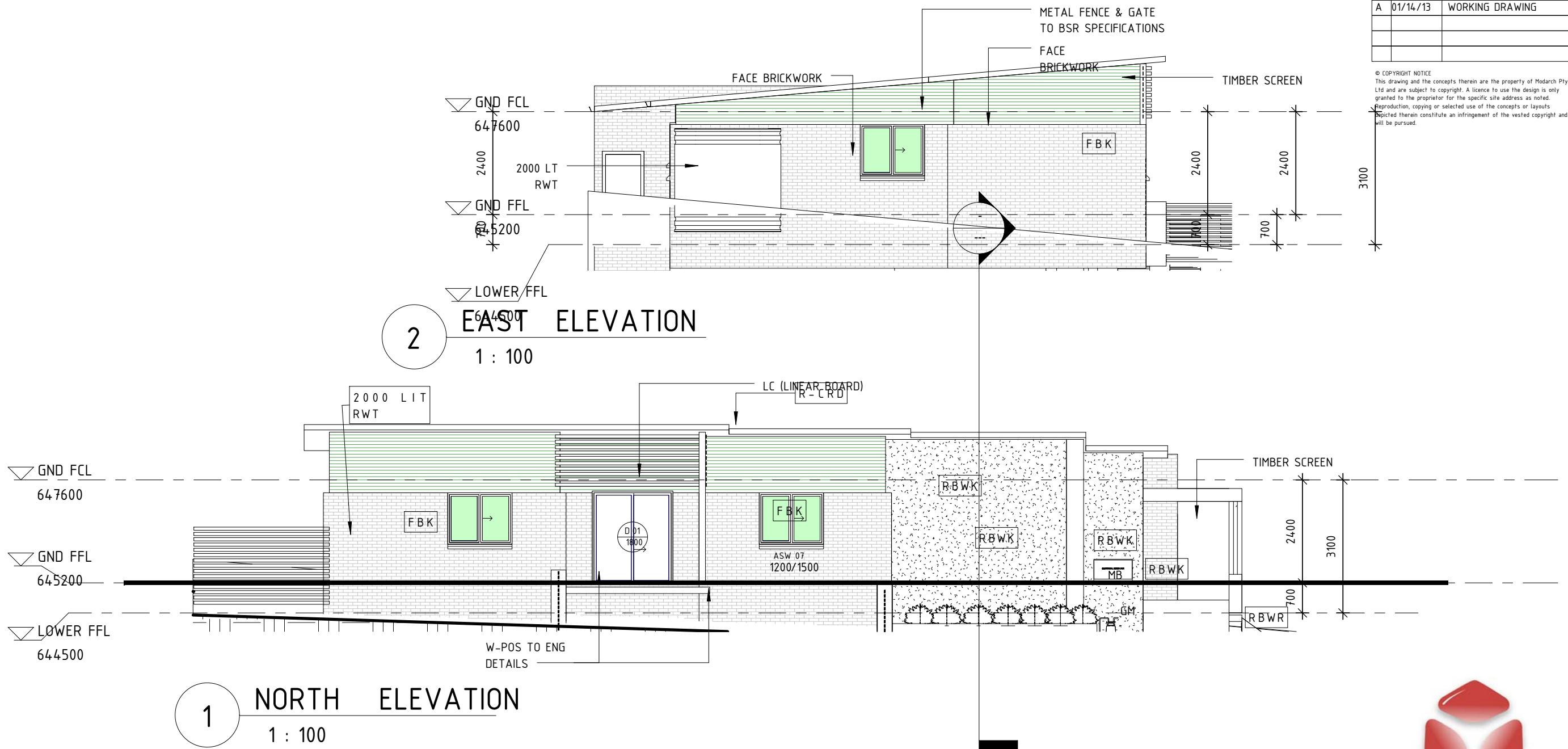
SCALE: 1 : 100 @ A3 REVISION:

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AMENDMENTS		
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## GENERAL LEGEND

W-AW	POWDERCOATED ALUMINUM FRAMED WINDOWS TO SELECTION
W-ASD	POWDERCOATED ALUMINIUM FRAMED SLIDING DOORS TO SELECTION
W-GD	SELECTED GARAGE DOOR
W-ED	SELECTED ENTRY DOOR
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W-GBAL	PROPRIETARY GLASS BALUSTRADE SYSTEM. FIXING & INSTALLATION TO MANUFACTURER'S RECOMMENDATION

## ELEVATION NOTES

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GROUND LEVELS AND FINISHED FLOOR LEVELS INDICATED ARE APPROXIMATE ONLY AND ARE TO BE CONFIRMED ON SITE

## ELEVATION LEGEND

PTP	PAINT FINISH TIMBER POST
GM	GAS METER LOCATION
FBK	FACE BRICK WORK
MAIL	MAIL BOX
NGL	NATURAL GROUND LINE
FGL	FINISH GROUND LINE
DP	DOWNPIPE
SB	SITE BOUNDARY
BJ	BRICK EXPANSION JOINT(LOCATIONS TO BE VERIFIED AND CONFIRMED BY STRUCTURAL ENGINEERS )

HWS	HOT WATER SYSTEM
MB	ELECTRICITY METER BOX
RBWK	RENDERED & PAINTED BRICKWORK
RSF	RENDERED & PAINTED STYRENE FOAM
RCP	RENDERED & PAINTED FIBRE CEMENT SHEETING
RTL	OUTLINE OF RETAINING WALL
SL	SKYLIGHT
SP	SOLAR PANEL
LC	LIGHT WEIGHT CLADDING TO SELECTION

## ROOF LEGEND

R-CRD1	COLORBOND ROOF SHEETING TYPE 1 @ 5° PITCH TO SELECTION
R-BG	600W x 200D ZINCALUME BOX GUTTER TO SELECTION BEYOND
R-RH	COLORBOND RAINHEAD WITH 60Ø OVERFLOW POP TO SELECTION
R-PC	COLORBOND PARAPET CAPPING TO SELECTION
R-FG	COLORBOND FASCIA & GUTTER TO SELECTION
R-BC	COLORBOND BARGE CAPPING TO SELECTION
R-CRT	CONCRETE ROOF TILES TO SELECTION



CLIENT : FEATURE HOMES

Block Q Section AL NGUNNAWAL ACT

ELEVATIONS SHEET 2

DATE: 01/14/13 PROJECT No: 1304  
DRAWN: HE DRAWING No: A105  
SCALE: 1 : 100 @ A3 REVISION:

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AREA SCHEDULE

LIVING AREA 155.809sqm  
GARAGE AREA 39.786sqm  
ALFRESCO 4.810  
PORCH 3.700 sqm  
TOTAL GFA 195.595sqm  
SITE AREA 418sqm

Window Schedule		
Mark	Height	Width
01	1200	1500
02	900	600
03	1200	1200
04	1200	1500
05	1200	1500
06	1200	1500
07	1200	1500
08	2400	610
09	2400	610
Grand total: 9		

Door Schedule			
Mark	Height	Width	Comments
01	2100	1800	
02	2100	1500	
03	2100	820	
04	2400	4800	
05	2400	920	
07	2100	720	
09	2100	820	
10	2100	720	
11	2040	1640	
12	2100	720	

Door Schedule			
Mark	Height	Width	Comments
13	2100	720	
14	2040	1840	
15	2100	820	
16	2100	820	
19	2040	1440	
20	2040	1440	
21	2100	820	
22	2100	820	
23	2100	820	
24	2100	820	
25	2100	720	
Grand total: 21			

AREA NOTES

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-A MINIMUM AREA OF 30% OF THE TOTAL BLOCK IS TO BE RETAINED FOR SOFT LANDSCAPING

GENERAL NOTES

-SIZE AND BRACING OF ENGAGED PIERS TO COMPLY WITH BCA AND RELEVANT AUTHORITIES & REGULATIONS  
-LIGHTING TO COMPLY WITH CLAUSE 3.12.5.5 OF THE BCA  
-WATER HEATER IN A HOT WATER SUPPLY SYSTEM TO COMPLY WITH CLAUSE 3.12.5.6 OF THE BCA

ENERGY RATING NOTES

AS PER EER REPORT

INDICITIVE WATER SAVING MEASURES

-TANK TO COLLECT 50% OF ROOF'S RAINWATER  
-TANK TO BE CONNECTED TO TOILET  
-TANK TO BE CONNECTED TO LAUNDRY COLD TAP

BUSHFIRE MEASURES

-SARKING TO U/S OF ROOF TILES  
-METAL LEAF GUARD TO GUTTERS  
-SPARK ARESSTOR  
-ALUMINUM MESH TO FLY SCREEN  
-1 WHIRLY BIRD TO LOWER ROOF  
-1 WHIRLY BIRD TO UPPER ROOF  
'CONSTRUCTION OF BUILDING IN BUSHFIRE PRONE AREAS TO BE COMPLIED WITH BUSHFIRE ATTACH LEVEL (BAL)-19 KW/M2 IN THE AUSTRALIAN STANDARD AS 3959.'



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Block Q Section AL NGUNNAWAL ACT

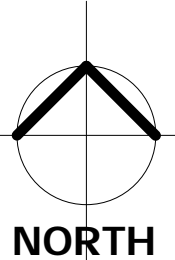
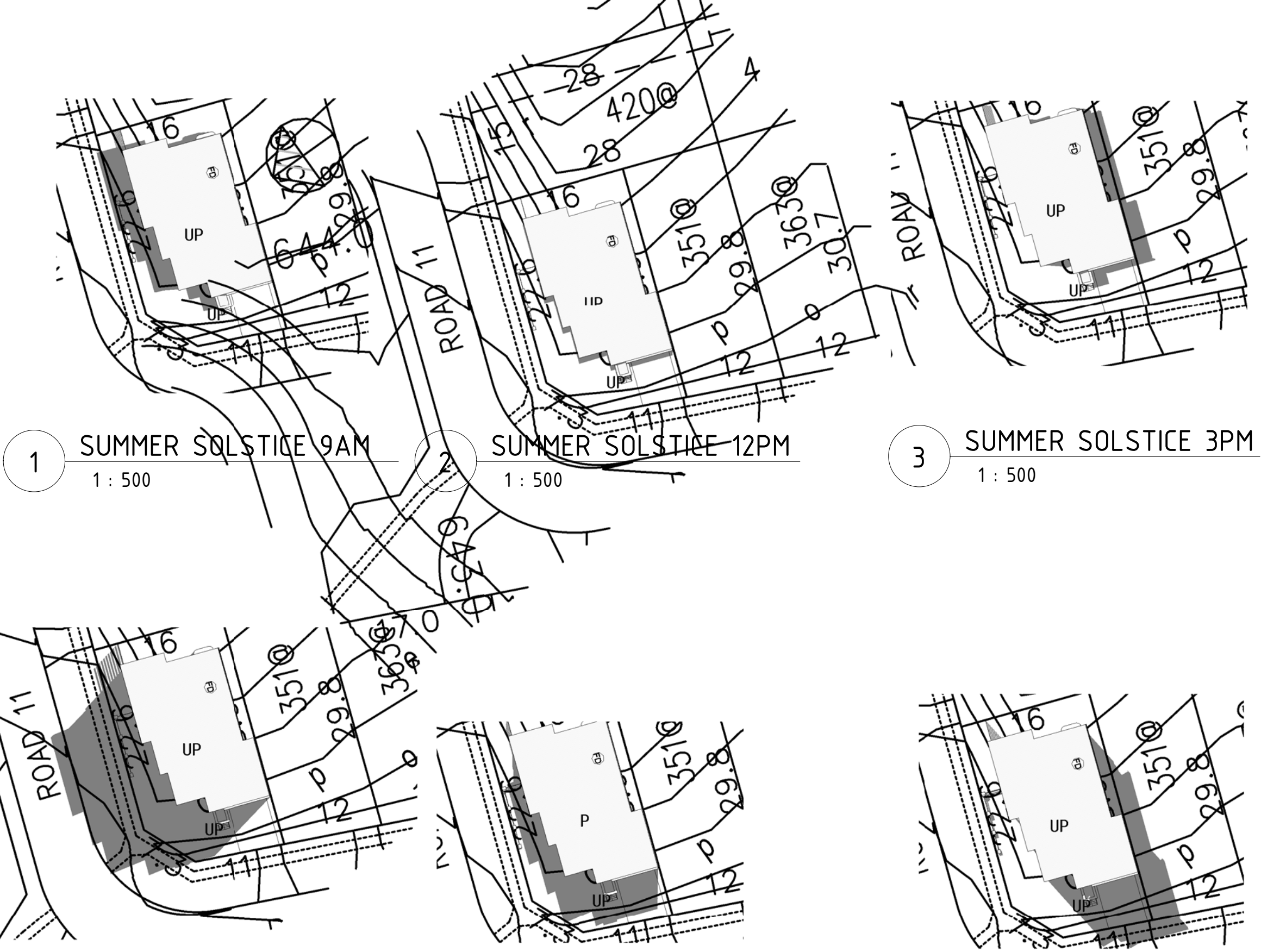
SECTION

DATE:	07/12/11	PROJECT No:	1304
DRAWN:	HE	DRAWING No:	A106
SCALE:	@ A3	REVISION:	

Address:76 Emu Bank Belconnen ACT 2617  
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CLIENT : FEATURE HOMES

Block Q Section AL NGUNNAWAL ACT

SHADOW DIAGRAM

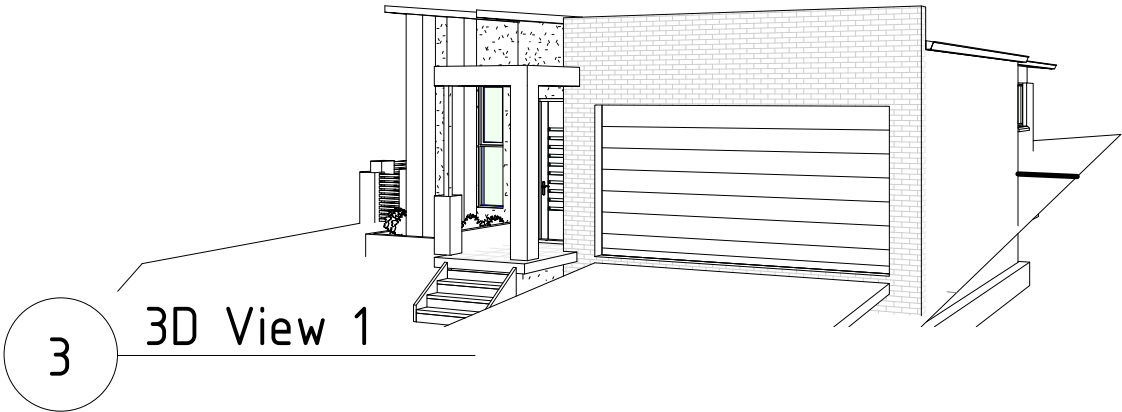
DATE: 07/12/11 PROJECT No: 1304  
DRAWN: HE DRAWING No: A107  
SCALE: 1 : 500 @ A3 REVISION:

Address: 76 Emu Bank Belconnen ACT 2617  
PO Box 1136 Dickson ACT 2605 Ph. 0401 006 885  
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3D View 1



3D View 6

**AREA NOTES**

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**ENERGY RATING NOTES**  
AS PER EER REPORT

**INDICITIVE WATER SAVING MEASURES**

- TANK TO COLLECT 50% OF ROOF'S RAINWATER
- TANK TO BE CONNECTED TO TOILET
- TANK TO BE CONNECTED TO LAUNDRY COLD TAP

**BUSHFIRE MEASURES**

- SARKING TO U/S OF ROOF TILES
- METAL LEAF GUARD TO GUTTERS
- SPARK ARESSTOR
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- 1 WHIRLY BIRD TO LOWER ROOF
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**'CONSTRUCTION OF BUILDING IN BUSHFIRE PRONE AREAS TO BE COMPLIED WITH BUSHFIRE ATTACH LEVEL (BAL)-19 KW/M2 IN THE AUSTRALIAN STANDARD AS 3959.'**



3D View 7



3D View 8



CLIENT : FEATURE HOMES

Block Q Section AL NGUNNAWAL ACT

3D VIEWS

DATE: 07/12/11 PROJECT No: 1304  
DRAWN: HE DRAWING No: A108  
SCALE: @ A3 REVISION:

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