

Akaroa Design and Appearance Advisory Committee AGENDA

Notice of Meeting:

An ordinary meeting of the Akaroa Design and Appearance Advisory Committee will be held on:

Date: Thursday 2 February 2017
Time: 2.30pm
Venue: Akaroa Sports Complex, Akaroa Recreation Ground,
28 Rue Jolie, Akaroa

Membership

Chairperson	Pam Richardson – Chairman - Banks Peninsula Community Board Representative
Members	Janis Haley – Banks Peninsula Community Board Representative
	Victoria Andrews - Akaroa Civic Trust
	John Davey - Consultant
	William Fulton - Consultant
	Lynda Wallace - Community Representative

24 January 2017

Liz Carter
Community Board Advisor
941 5682
liz.carter@ccc.govt.nz
www.ccc.govt.nz

Note: The reports contained within this agenda are for consideration and should not be construed as Council policy unless and until adopted. If you require further information relating to any reports, please contact the person named on the report.

To view copies of Agendas and Minutes, visit:
www.ccc.govt.nz/Council/meetingminutes/agendas/index

-
- Part A Matters Requiring a Council Decision
Part B Reports for Information
Part C Decisions Under Delegation
-

TABLE OF CONTENTS

C	1.	Apologies.....	4
B	2.	Declarations of Interest.....	4
B	3.	Deputations by Appointment.....	4

STAFF REPORTS

B	4.	Akaroa Service Centre - Pre-Application Review.....	5
B	5.	Akaroa Court House and Akaroa Customs House - Exterior Paint Schemes	29
C	6.	Akaroa Design and Appearance Advisory Committee - Meeting Schedule 2017.....	33
B	7.	Committee Members' Exchange of Information	35

1. Apologies

At the close of the agenda no apologies had been received.

2. Declarations of Interest

Members are reminded of the need to be vigilant to stand aside from decision making when a conflict arises between their role as an elected representative and any private or other external interest they might have.

3. Deputations by Appointment

There were no deputations by appointment at the time the agenda was prepared.

4. Akaroa Service Centre - Pre-Application Review

Reference: 17/62631

Contact: Victoria Bliss Victoria.Bliss@ccc.govt.nz

941 8816

1. Purpose of Report

- 1.1 This report is for staff to seek guidance on the design and appearance for the repair and renovation of the Akaroa Service Centre at 78 Rue Lavaud, Akaroa.

2. Staff Recommendations

That the Akaroa Design and Appearance Advisory Committee:

1. Receive the concept plans and temporary protection plan.
2. Provide comment as appropriate on the concept plans and temporary protection plan.

Attachments

No.	Title	Page
A ↓	Akaroa Service Centre - Concept Plans	6
B ↓	Akaroa Service Centre - Temporary Protection Plan	21

Signatories

Author	Liz Carter - Community Board Advisor
Approved By	Liz Carter - Community Board Advisor

Akaroa Service Centre

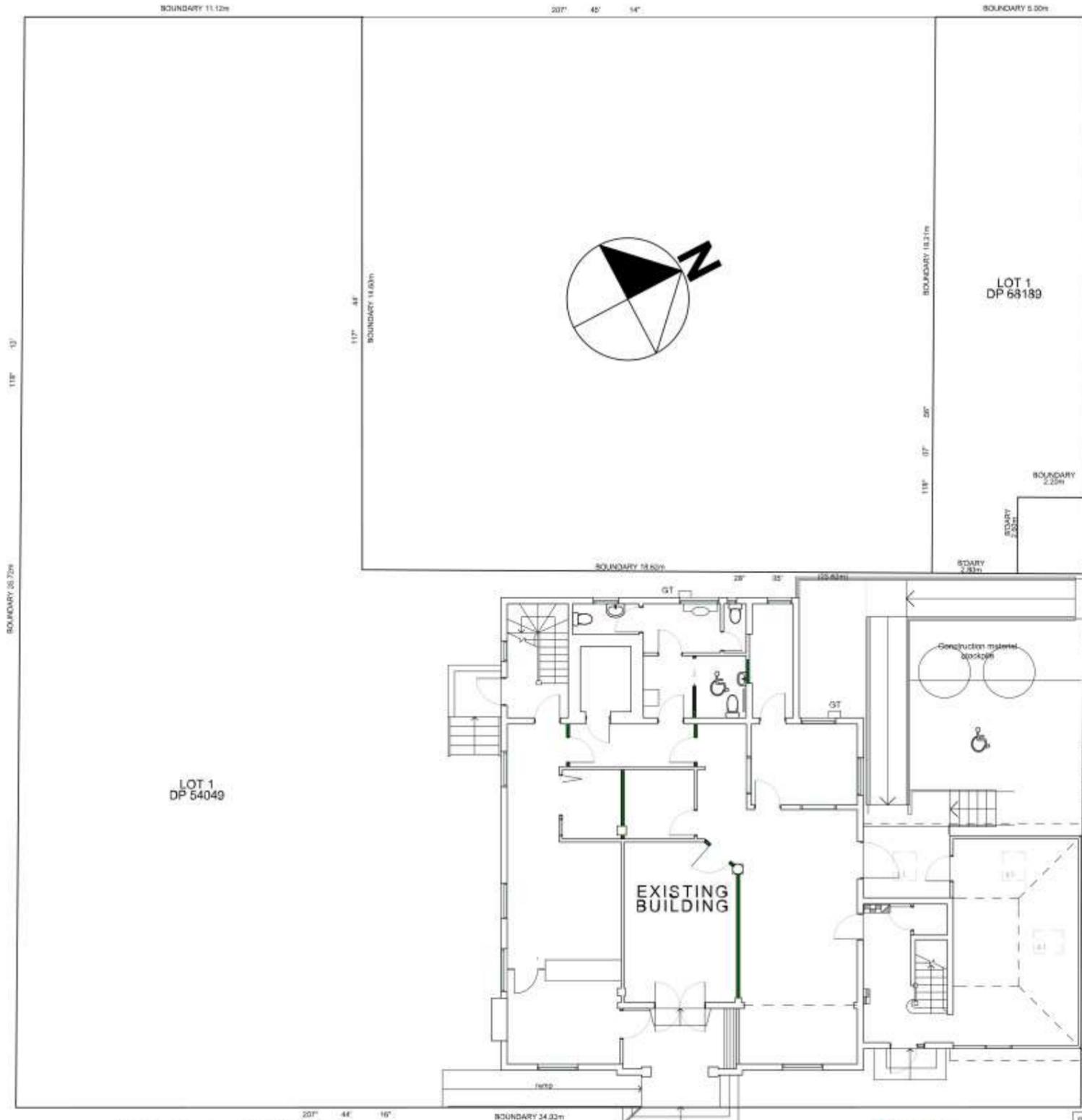
78 Rue Lavaud
Akaroa

Christchurch City Council

- A1.1 SITE PLAN
- A1.2 EXISTING FLOOR PLANS
- A1.3 PROPOSED FLOOR PLANS
- A1.4 ACCESSIBILITY PLANS
- A1.5 IT LAYOUT
- A2.1 EXISTING ELEVATIONS
- A2.2 PROPOSED ELEVATIONS
- A2.3 CHIMNEY ELEVATIONS
- A3.1 ACCESSIBILITY RAMP / STAIR
- A3.2 ACCESSIBILITY RAMP / STAIR
- A3.3 P O BOX CANOPY
- A4.1 CHIMNEY DETAILS
- A4.2 DETAILS
- A5.1 STAFF ACCESSIBLE TOILET

JOB NUMBER:
5705k

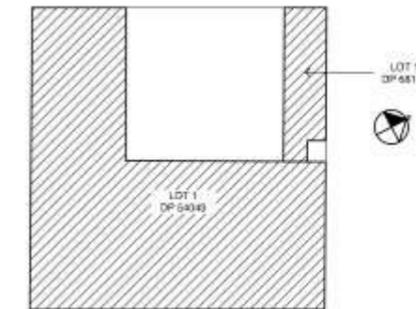
fulton ross
teamarchitects



Revisions		
No	Date	Content



LOCATION PLAN
n/a



LEGAL PLAN
scale 1:500

Ground Floor Area	212.62m ²
Existing Decks/Steps	32.44m ²
Proposed Decks/Steps	34.11m ²
First Floor Area	153.70m ²
Existing Balcony	8.36m ²
Total Deck, Ramp, Balcony Area	75.50m ²
Total Floor Area	366.22m ²

Notes:
1. Legal description Lot 1 DP 68189 & Lot 1 DP 54049 302 square metres more or less.
2. Contractor to confirm all dimensions on site before commencing work.

RUE LAVAUD
SITE PLAN
scale 1:100

TONY USSHER ARCHITECT & CONSERVATION CONSULTANT
33 SANDY BEACH ROAD
DOVERBERG BAY
LITTLETON 8011
PO BOX 4402
CHRISTCHURCH 8140
tuss@ussher.co.nz
Ph: 03 339 0501
Fax: 03 339 3937
Cell: 0222 439 9114



fulton ross teamarchitects
Fulton Ross Team Architects Limited
71 Canon Street, St Albans
Christchurch 8014, New Zealand
Ph: +64 3 366 7165 | admin@frta.co.nz
www.fultonross.co.nz

Project Title
Christchurch City Council
Akaroa Service Centre

78 Rue Lavaud
AKAROA

Drawing Title	scale
Site Plan	1:100, 1:500 @ A2
Drawn by MD	Checked WF
Date October 2016	Date 2016

DRAFT

Issue	Resource Consent
Date	17/11/2016
C.A.D file	A1.1
Project No.	5705 (K)
Sheet No.	Rev

The COPYRIGHT of these drawings and the items contained therein remain the property of the author unless otherwise agreed in writing. The Contractor shall verify all dimensions on site before work commences.

Maximum allowable discharge units related to pipe size and gradient in graded discharge pipes

MIN. GRADE OF PIPE	DISCHARGE PIPE DIAMETER (DIP)				
%	40	50	60	75	90
0.8	1.20	6	15	31	66
3.35	1.30	5	13	28	243
7.8	1.40	4	8	21	150
2.0	1.50	COMBINATIONS OF GRADES & PIPE SIZES NOT PERMITTED			142
1.05	1.60	COMBINATIONS OF GRADES & PIPE SIZES NOT PERMITTED			115

NOTE 1: FOR LARGER PIPE SIZES AND LOWER GRADIENTS REFER TO TABLE 11 OF THE AS/NZS 3508.2
NOTE 2: IT IS RECOMMENDED THAT A DISCHARGE PIPE FROM A WC WITH A 4.5 LITRE FLUSHING CAPACITY HAS A MIN. OF 2.25% NOT 1.85%

Sanitary Fixtures Table

SPACE	FITTING	DISCHARGE UNIT	FITTING	UNIFORM GRADIENT
LAUNDRY	WASHING MACHINE AND SINK UNIT	8	50mm dia	1:80
BATHROOM	WC PAN	4	100mm dia	1:50
	WASH SHOWER	1	40mm dia	1:80
KITCHEN	SINK (w/ DSH WASH)	8	50mm dia	1:80
	WC PAN	4	100mm dia	1:50
ENSUITE	WASH SHOWER	2	40mm dia	1:80
	BATH	4	40mm dia	1:80

ALL WORK HAS BEEN CALCULATED USING THE ABOVE

- Accessibility Notes:
- New 1:12 concrete accessible ramp 1200mm wide with handrails at 800mm both sides Ref A3.1
 - New concrete accessible entry steps with 300mm treads and 150mm max risers and 900mm handrail on both sides Ref A3.1
 - New accessible car park 5.2 x 3.6 Ref A3.1
 - All new doors to be at least 810mm wide and have a clear opening of 760mm
 - All door handles to be lever action handle. Ref Door Hardware Schedule
 - All signs to comply NZS4121 Section 4.8. Height of signs to be set between 1400mm & 1700mm
 - Refer to A5.1 for Accessible Toilet details
 - Refer to A3.1, A3.2 for Accessible Ramp & Steps details
 - Existing 1:10 ramp with 1180mm clear width and handrail at 910mm
 - No change to the first floor plan
- Accessible access for the public:
- Accessible access for staff:

Timber Treatment Guide

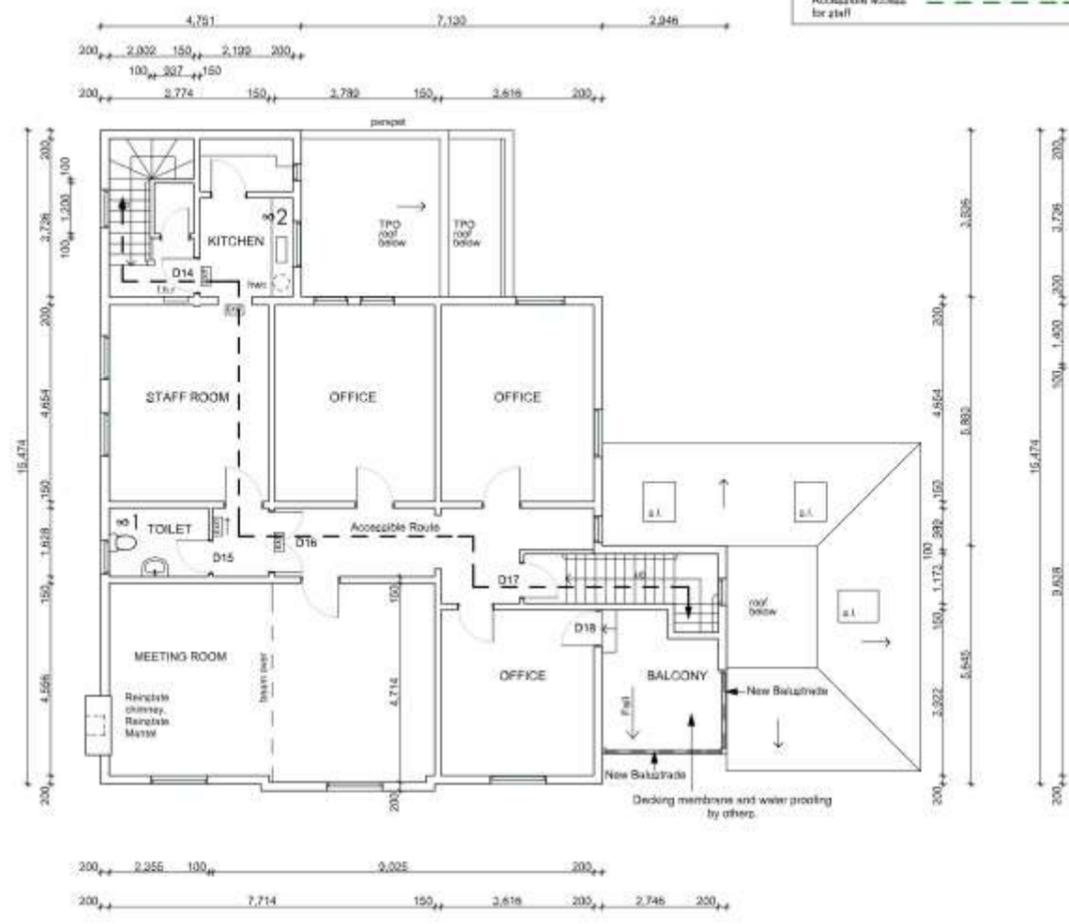
BUILDING ELEMENT	TREATMENT LEVEL
ROOF FRAMING TRUSSES & CEILING JOISTS	H1.2 TREATED PLUS RADICAL JOINTS
INTERIOR WALL FRAMING INCLUDING BOTTOM PLATES	
EXTERIOR WALL FRAMING & PARAPETS WALL BUT LOW RISK SINGLE STOREY	H1.2
FRAMING FOR ENCLOSED DECK & BALCONIES	
FRAMING WITHIN ENCLOSED BALUSTRADES	H5.1
SOME FRAMING SUPPORTING DECK & BALCONIES	
AT RISK RET AREA WALL FRAMING & FLOOR JOISTS	
CAVITY BATTENS TO CLADDING	
EXPOSED RAFTERS & FRAMING TRUSSES	H0.2
UNPROTECTED DECKING JOISTS & BEAMS	
EXTERNAL STAIRS, HANDRAILS & BALUSTRADES	
PLINTS & OTHER STRUCTURAL IN GROUND MATERIAL	H6

Revisions

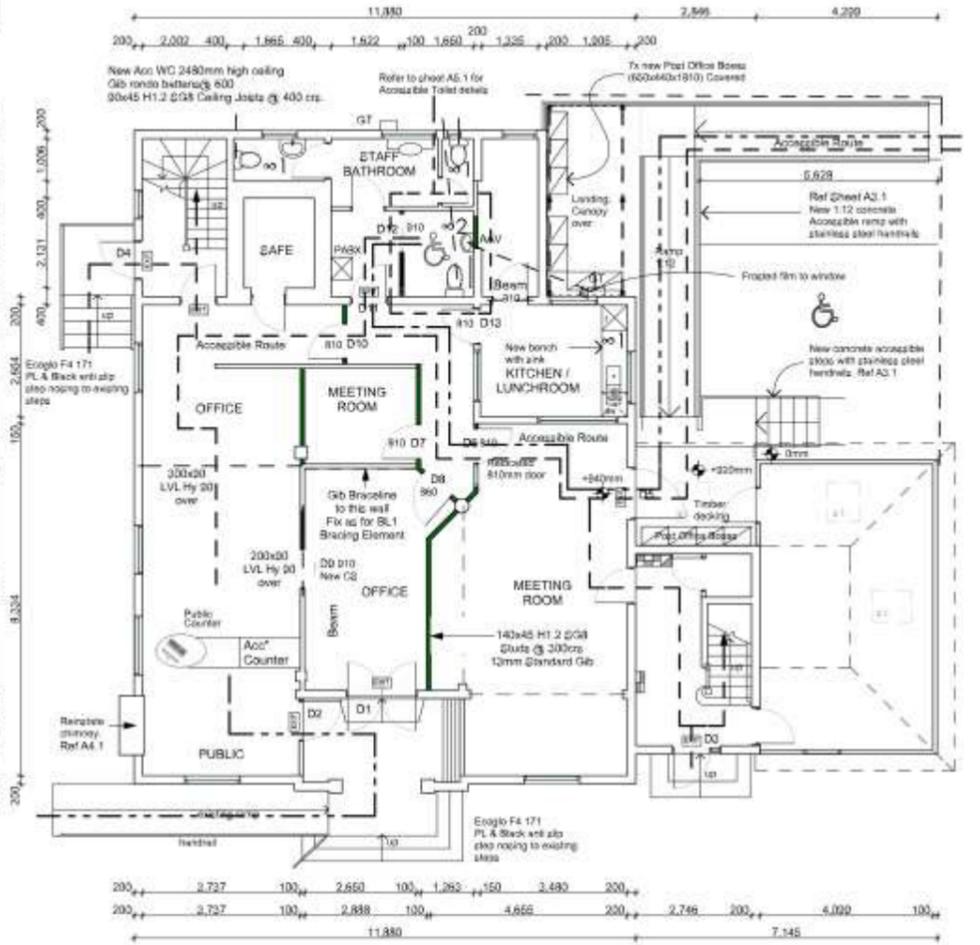
No	Date	Detail
C	21/06/16	
D	06/07/16	Dimensions added
D	22/08/16	Counter updated, door added, first floor balcony opened



- Notes:
- All new doors to be hollow core painted
 - All new door handles to be lever action - Legge 500 Triko 61, satin chrome finish
 - All new door handles to be set at a height of 1000mm above floor level
 - All signs to comply NZS4121 Section 4.8. Height of signs to be set between 1400mm & 1700mm
 - Refer to A5.1 for Accessible Toilet details
 - Refer to A5.2 for Accessible Ramp & Steps details
 - Refer to Means of Escape Fire Report 15 December 2015 for all fire upgrades. In particular:
 - Exit signs
 - Emergency Lighting
 - Fire Alarm upgrade
 - Exit door locking devices
 - Fire/smoke Separations
 - Internal Surface Finishes
 - HD = Hot Desk
 - ∞ = Ventilation
 - = New Wall
 - = Existing Wall



PROPOSED FIRST FLOOR PLAN
Scale 1:100



PROPOSED GROUND FLOOR PLAN
Scale 1:100

DRAFT

The COPYRIGHT of these drawings and the items contained therein remain the property of the author unless otherwise agreed in writing. The Contractor shall verify all dimensions on site before work commences.

TONY USSHER ARCHITECT & CONSERVATION CONSULTANT
33 SANDY BEACH ROAD, DUNEDIN 9100
PO BOX 4402, CHRISTCHURCH 8140
LITTLETON 9071
Ph: 03 329 0691
Fax: 03 329 9997
Cell: 0332 432 9114
www.ussherarchitect.co.nz

fulton ross teamarchitects
Fulton Ross Team Architects Limited
71 Canon Street, St Albans
Christchurch 8014, New Zealand
Ph: +64 3 366 7145 | admin@ftr.co.nz
www.fultonross.co.nz

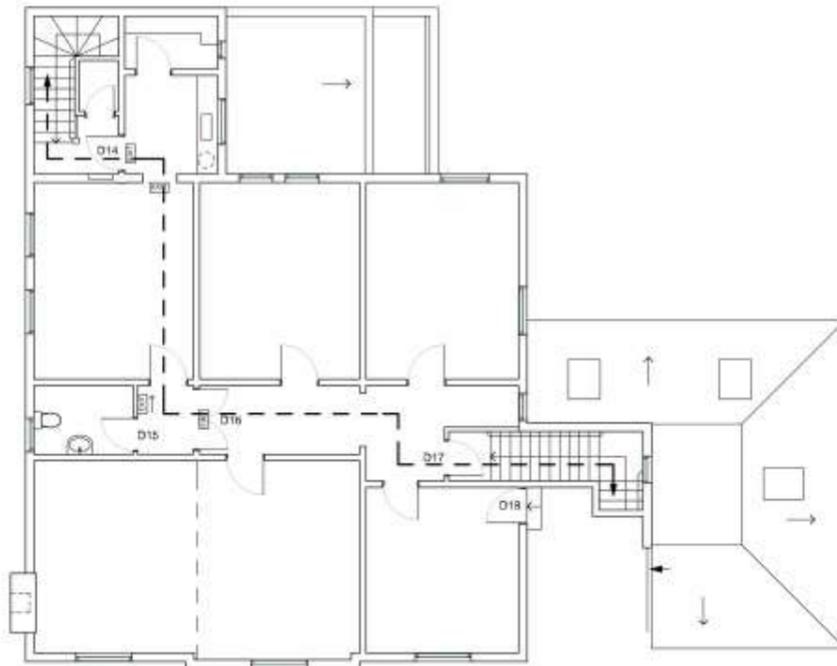
Project Title
Christchurch City Council
Akaroa Service Centre

78 Rue Lavaud
AKAROA

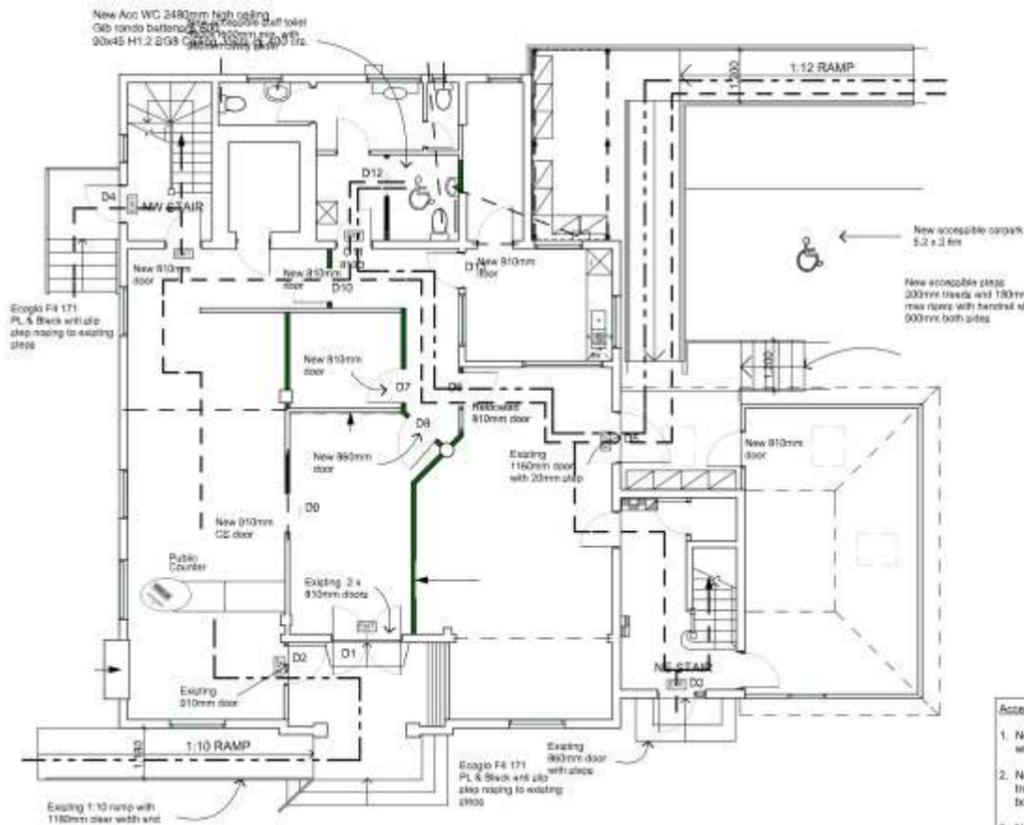
Drawing Title
Proposed Floor Plans
scale
1:100, 1:200 @ A2
Drawn by MD
Date October 2016
Checked by WF
Date 2016

Issue Resource Consent
Date 17/11/2016
C.A.D file
Project No. 5705 (K)
Sheet No. A1.3
Rev D

Revisions		
No	Date	Content



ACCESSIBILITY FIRST FLOOR PLAN
Scale 1:100



ACCESSIBILITY GROUND FLOOR PLAN
Scale 1:100

- Accessibility Notes:**
- New 1-12 concrete accessible ramp 1200mm wide with handrails at 900mm both sides Ref A2.1
 - New concrete accessible entry steps with 300mm treads and 180mm max risers and 900mm handrail to both sides. Ref A2.1
 - New accessible car park 5.2 x 3.6 Ref A2.1
 - All new doors to be at least 810mm wide and have a clear opening of 760mm
 - All door handles to be lever action handles. Ref Door Hardware Schedule
 - All signs to comply NZS4121 Section 4.8. Height of signs to be set between 1400mm & 1700mm.
 - Refer to A5.1 for Accessible Toilet details
 - Refer to A2.1, A2.2 for Accessible Ramp & Steps details
 - Existing 1:10 ramp with 1180mm clear width and handrail at 910mm
 - No change to the first floor plan
- Accessible access for the public: - - - - -
Accessible access for staff: - - - - -

DRAFT

The COPYRIGHT of these drawings and the items contained therein remain the property of the author unless otherwise agreed in writing. The Contractor shall verify all dimensions on site before work commences.

TONY USSHER ARCHITECT & CONSERVATION CONSULTANT
33 SANDY BEACH ROAD, DUNEDIN 9014
LITTLETON 9071
PO BOX 4402, CHRISTCHURCH 8140
t: 03 325 9591 f: 03 325 9997
cell: 0332 432 8114
t: 03 356 7145 e: admin@tusa.co.nz
www.fultonross.co.nz



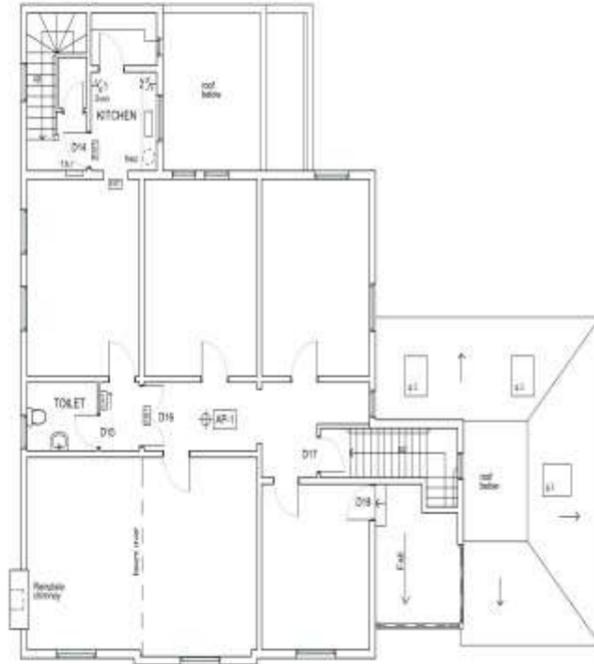
fulton ross teamarchitects
Fulton Ross Team Architects Limited
71 Canon Street, St Albans
Christchurch 8014, New Zealand
t: +64 3 356 7145 e: admin@ftr.co.nz
www.fultonross.co.nz

Project Title	Christchurch City Council Akaroa Service Centre
78 Rue Lavaud AKAROA	

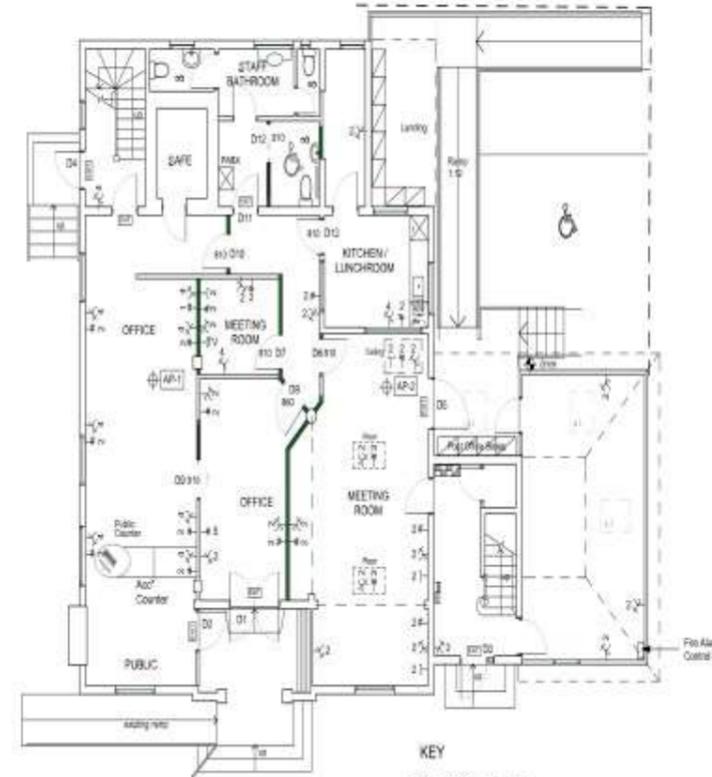
Drawing Title	scale
Accessibility Plans	1:100 @ A2
Drawn by MD	Checked by WF
Date October 2016	Date 2016

Resource Consent	
Date 17/11/2016	Sheet No.
C.A.D file	A1.4
Project No. 5705 (K)	Rev

Revisions	
No.	Date



PROPOSED I.T. LAYOUT FIRST FLOOR PLAN
Scale 1:100



PROPOSED I.T. LAYOUT GROUND FLOOR PLAN
Scale 1:100

- KEY**
- 2/2 Power Outlet Switched
 - 2/P Network
 - 2/H HDMI
 - T6 TV Aerial Point
 - Ceiling mounted units
 - Floor mounted units
 - ⊕ AP-1 AP1201
 - ⊕ AP-2 AP1202

DRAFT

The COPYRIGHT of these drawings and the ideas contained therein remain the property of the author unless otherwise agreed in writing. The Contractor shall verify all dimensions on site before work commences.

TONY USSHER ARCHITECT & CONSERVATION CONSULTANT
25 BIRCH BEACH ROAD
DUNEDIN 9016
03 777 5174



fulton ross teamarchitects
Fulton Ross Team Architects Limited
71 Concor Street, St Albans
Christchurch 8014, New Zealand
03 366 7115 • info@fultonross.co.nz
www.fultonross.co.nz

Project Title
Christchurch City Council
Akaroa Service Centre

78 Rue Lavaud
AKAROA

Drawing Title
IT Layout

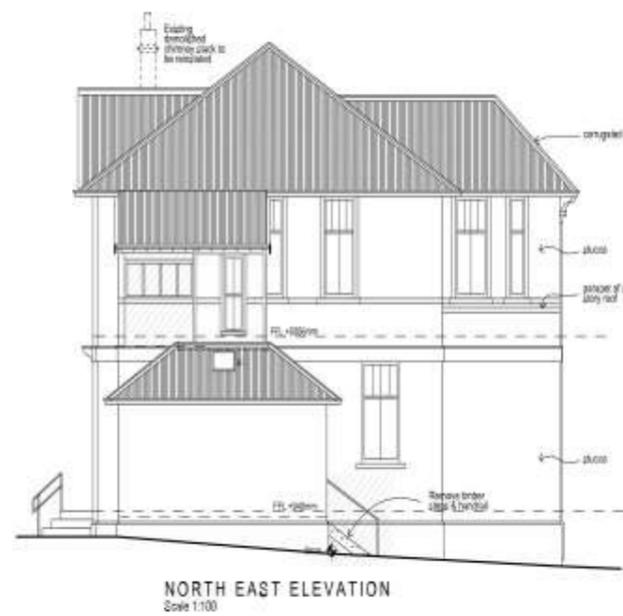
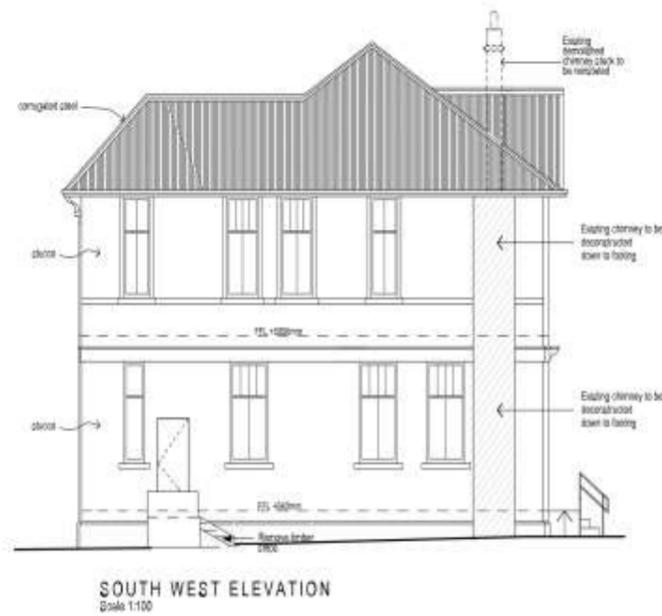
Scale
1:100 @ A2

Drawn by: HD
Date: October 2016

Issued
Resource Consent
Date: 17/11/2016
C.A.D file
Project No.
5705 (K)

Sheet No.
A1.5
Rev

Revisions		
No.	Date	Owner



DRAFT

The COPYRIGHT of these drawings and the ideas contained therein remain the property of the author unless otherwise agreed in writing. The Contractor shall verify all dimensions on site before work commences.

TONY USSHER ARCHITECT & CONSERVATION CONSULTANT
25 SANDY BEACH ROAD, PO BOX 482, PH: 03 229 8811
100 KOWAI RD, CHURCHILL BAY, CHURCHILL, NEW ZEALAND, PH: 03 229 2597
03 229 2597, tony@tussheer.co.nz, www.tussheer.co.nz



fulton ross teamarchitects
Fulton Ross Team Architects Limited
71 Canal Street, St Albans, Christchurch 8014, New Zealand
+64 3 366 7115, info@fultonross.co.nz, www.fultonross.co.nz

Project Title Christchurch City Council Akaroa Service Centre 78 Rue Lavaud AKAROA	Drawing Title Existing Elevations 1:100 @ A2 Drawn by: MD Date: October 2016	scale 1:100 @ A2 Checked: WF Date: 2016	Issue Resource Consent Date: 17/11/2016 C.A.D file Project No. 5705 (K)	Sheet No. A2.1 Rev
--	--	--	--	--------------------------

Revisions		
No	Date	Subject



Notes:
1. Contractor to confirm all dimensions on site.
2. New 1:12 concrete ramp & steps. Refer to sheet A2.2 for details.

DRAFT

The COPYRIGHT of these drawings and the items contained therein remain the property of the author unless otherwise agreed in writing. The Contractor shall verify all dimensions on site before work commences.

TONY USSHER ARCHITECT & CONSERVATION CONSULTANT
33 SANDY BEACH ROAD, DUNEDIN 9011
PO BOX 4402, CHRISTCHURCH 8140
Ph: 03 329 0691, Fax: 03 329 9997, Cell: 0332 432 8114
tuss@ussherarchitect.co.nz

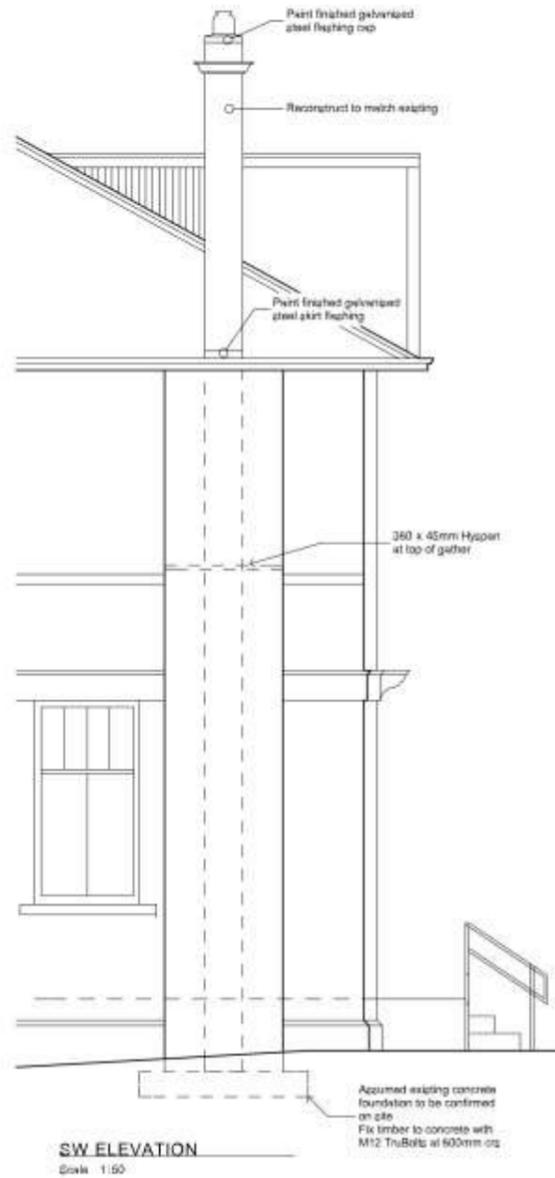
fulton ross teamarchitects
Fulton Ross Team Architects Limited
71 Canon Street, St Albans, Christchurch 8014, New Zealand
Ph: +64 3 366 7145, admin@frta.co.nz, www.fultonross.co.nz

Project Title
Christchurch City Council Akaroa Service Centre
78 Rue Lavaud AKAROA

Drawing Title
Proposed Elevations
scale
1:100 @ A2
Drawn by: MD, Date: October 2016
Checked by: WF, Date: 2016

Issue
Resource Consent
Date: 17/11/2016, Sheet No.: **A2.2**
C.A.D file
Project No.: **5705 (K)**, Rev:

Revisions		
No	Date	Subject



DRAFT

The COPYRIGHT of these drawings and the items contained therein remain the property of the author unless otherwise agreed in writing. The Contractor shall verify all dimensions on site before work commences.

TONY USSHER ARCHITECT & CONSERVATION CONSULTANT
33 SANDY BEACH ROAD
DOVERBERG BAY
LITTLETON 8071

PO BOX 4402
CHRISTCHURCH 8140
t: 03 329 9597
f: 03 329 9997
www.tonyussher.co.nz

Ph: 03 329 0601
Fax: 03 329 9997
Cell: 03 329 8114



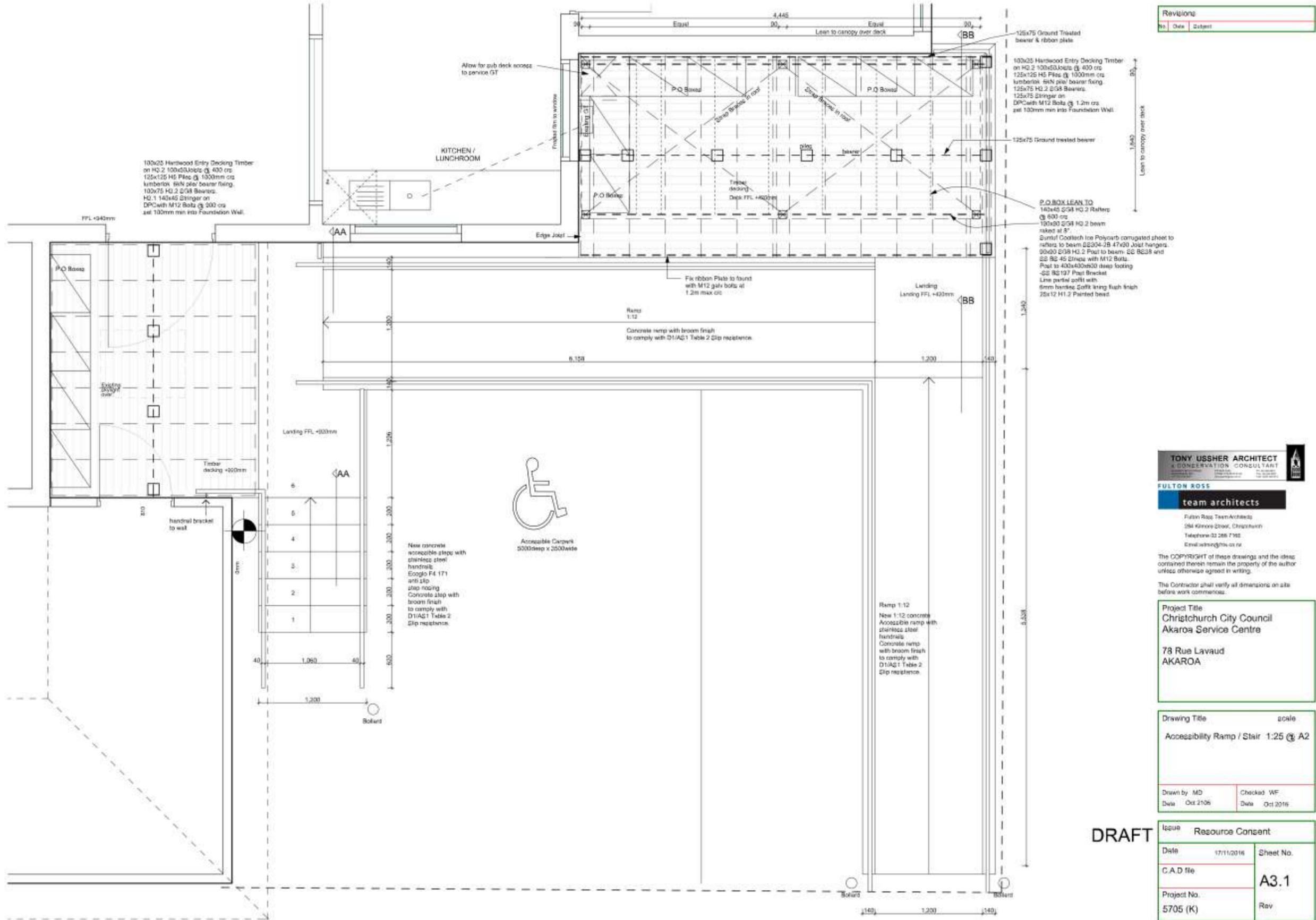
fulton ross teamarchitects
Fulton Ross Team Architects Limited
71 Canon Street, St Albans
Christchurch 8014, New Zealand
t: +64 3 366 7145 e: admin@frta.co.nz
www.fultonross.co.nz

Project Title
Christchurch City Council
Akaroa Service Centre

78 Rue Lavaud
AKAROA

Drawing Title	scale
Chimney Elevations	1:50, 1:25 @ A2
Drawn by MD	Checked by WJF
Date October 2016	Date 2016

Issue Resource Consent	
Date 17/11/2016	Sheet No. A2.3
C.A.D file	
Project No. 5705 (K)	Rev



Revisions		
No.	Date	Subject

TONY USSHER ARCHITECT
A CONSULTATION CONSULTANT

FULTON ROSS
team architects

Fulton Ross Team Architects
554 Kilmore Street, Christchurch
Telephone 03 266 7192
Email: tuss@ftr.co.nz

The COPYRIGHT of these drawings and the ideas contained therein remain the property of the author unless otherwise agreed in writing.

The Contractor shall verify all dimensions on site before work commences.

Project Title
Christchurch City Council
Akaroa Service Centre

**78 Rue L'Arvaud
AKAROA**

Drawing Title scale
Accessibility Ramp / Stair 1:25 @ A2

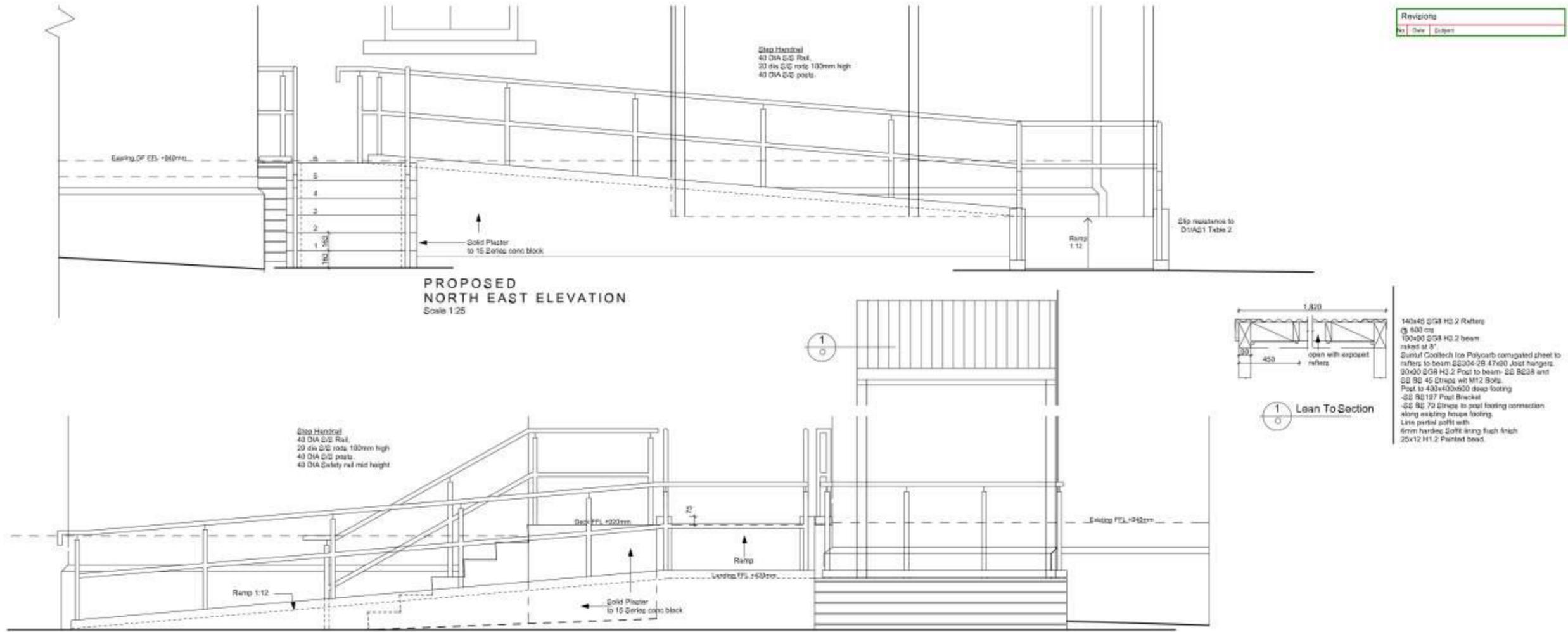
Drawn by: MD Checked: WF
Date: Oct 21/06 Date: Oct 2016

DRAFT

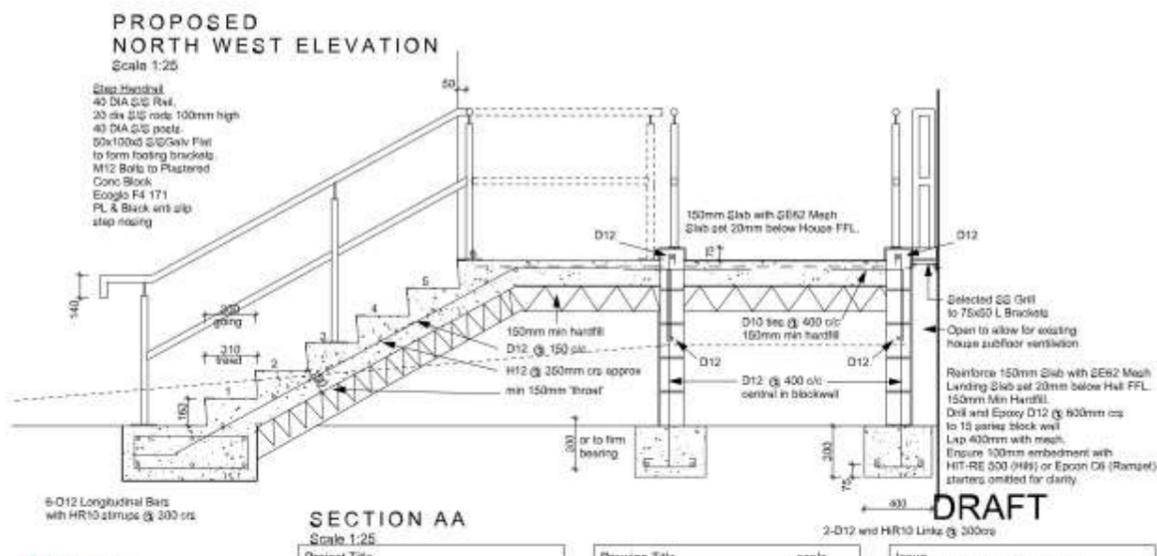
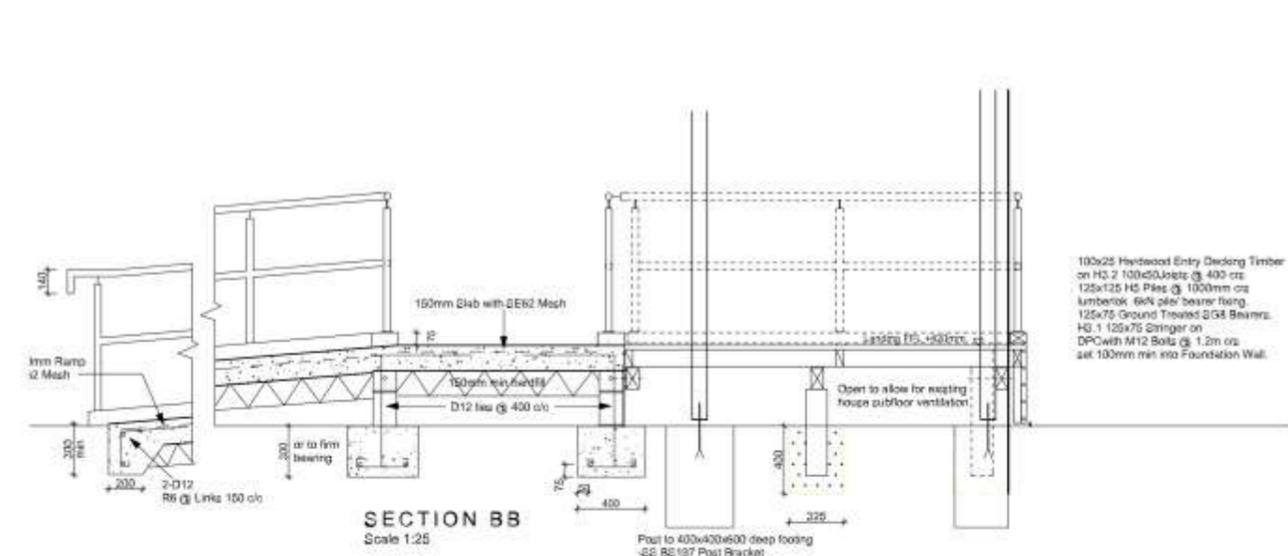
Issue Resource Consent

Date: 17/11/2016 Sheet No.
C.A.D file **A3.1**

Project No. Rev
5705 (K)



Revisions		
No	Date	Editor



The COPYRIGHT of these drawings and the ideas contained therein remain the property of the author unless otherwise agreed in writing. The Contractor shall verify all drawings on site before work commences.

TONY USSHER ARCHITECT & CONSERVATION CONSULTANT
 33 SANDY BEACH ROAD, DUNEDIN 9011
 PO BOX 4402, CHRISTCHURCH 8140
 Ph: 03 339 0691, Fax: 03 339 9997, Cell: 0332 432 8114
 tony@ussher.co.nz, www.ussher.co.nz

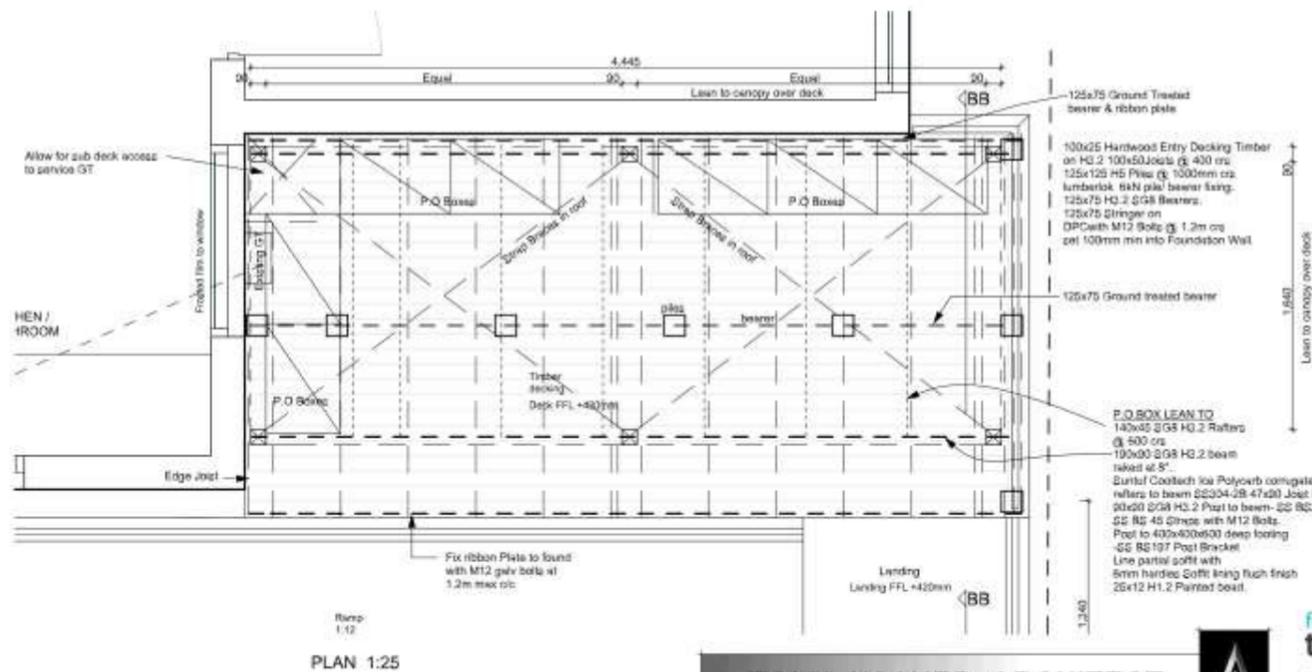
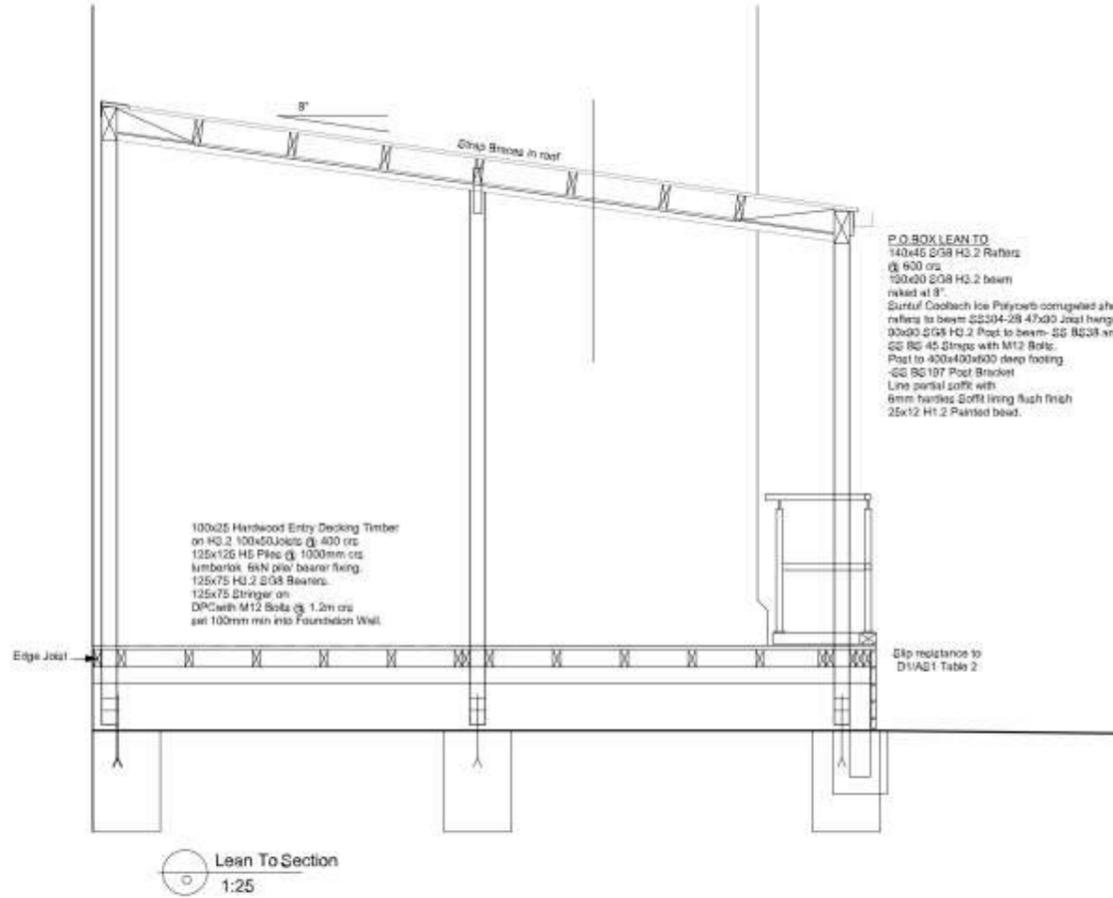
fulton ross teamarchitects
 Fulton Ross Team Architects Limited
 71 Canon Street, St Albans, Christchurch 8014, New Zealand
 Ph: +64 3 366 7145, admin@ftr.co.nz, www.fultonross.co.nz

Project Title	
Christchurch City Council Akaroa Service Centre	
78 Rue Lavaud AKAROA	

Drawing Title	scale
Accessible Ramp/ Stair	1:25, 1:20 @ A2
Drawn by MD	Checked by WF
Date October 2016	Date 2016

Issued Resource Consent	
Date 17/11/2016	Sheet No. A3.2
C.A.D file	Rev
Project No. 5705 (K)	

Revisions		
No	Date	Content



The COPYRIGHT of these drawings and the ideas contained therein remain the property of the author unless otherwise agreed in writing. The Contractor shall verify all dimensions on site before work commences.

TONY USSHER ARCHITECT & CONSERVATION CONSULTANT
33 SANDY BEACH ROAD
DUNEDIN 9011
LYTTELTON 9071

PO BOX 4402
CHRISTCHURCH 8140
tuss@ussherdca.co.nz

Ph: 03 329 9891
Fax: 03 329 9997
Cell: 0222 432 8114



fulton ross teamarchitects
Fulton Ross Team Architects Limited
71 Canon Street, St Albans
Christchurch 8014, New Zealand
p: +64 3 366 7145 e: admin@frta.co.nz
www.fultonross.co.nz

Project Title
**Christchurch City Council
Akaroa Service Centre**

78 Rue Lavaud
AKAROA

Drawing Title scale
P O Box Canopy

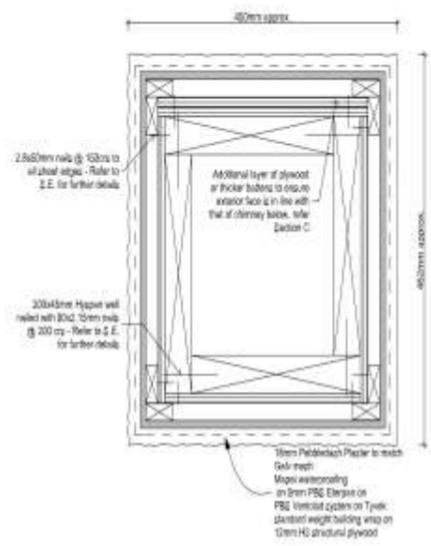
1:20, 1:25 @ A2

Drawn by MD Checked by WF
Date October 2016 Date 2016

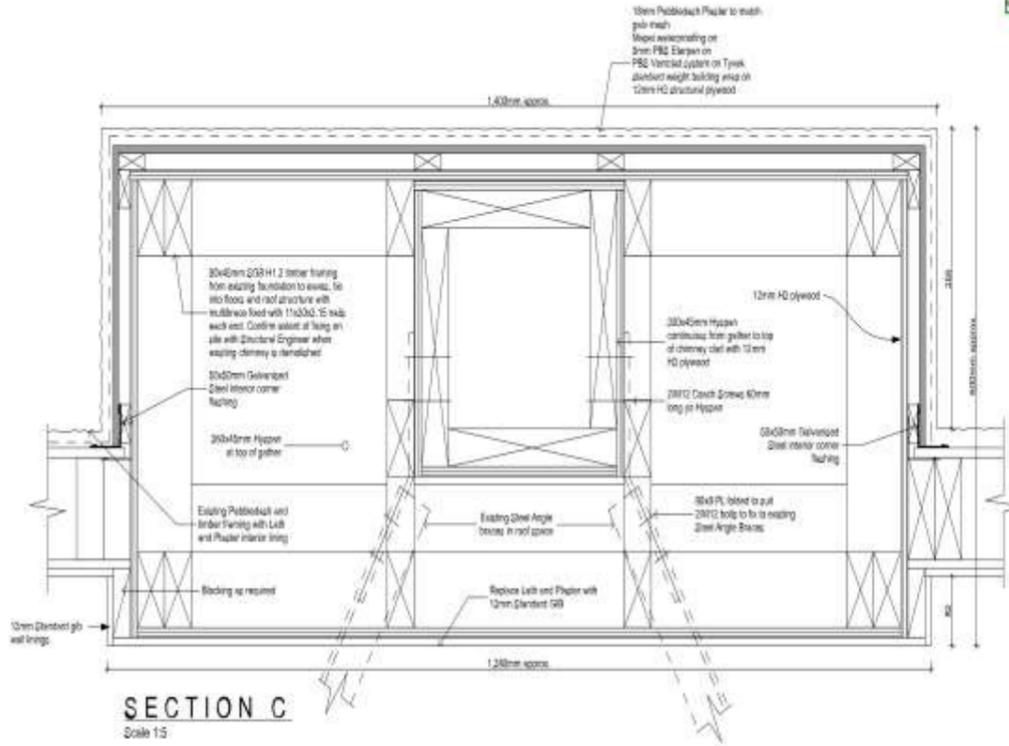
DRAFT

Issue	Resource Consent	
Date	17/11/2016	Sheet No.
C.A.D file		A3.3
Project No.	5705 (K)	Rev

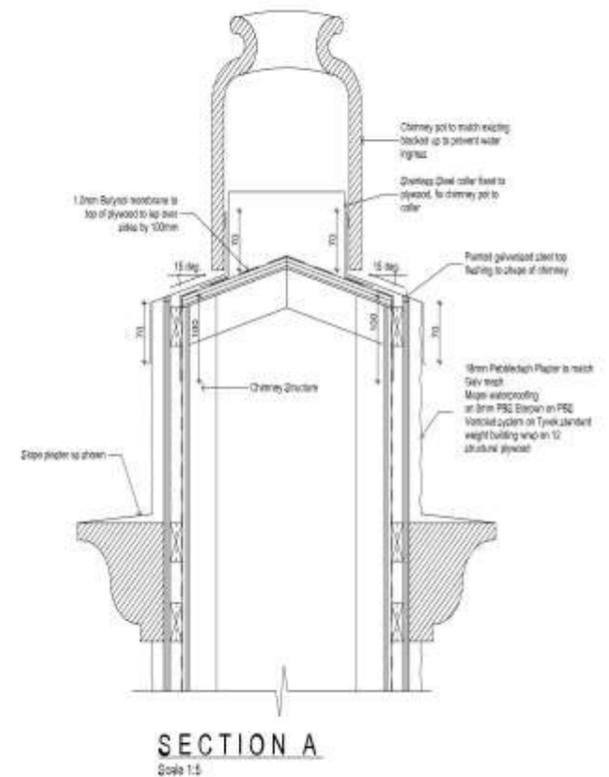
Revisions		
No.	Desc	Date



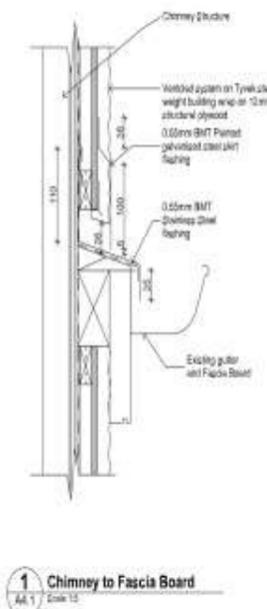
SECTION B
Scale 1:5



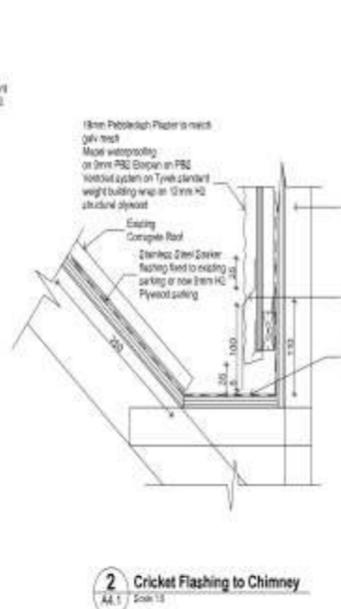
SECTION C
Scale 1:5



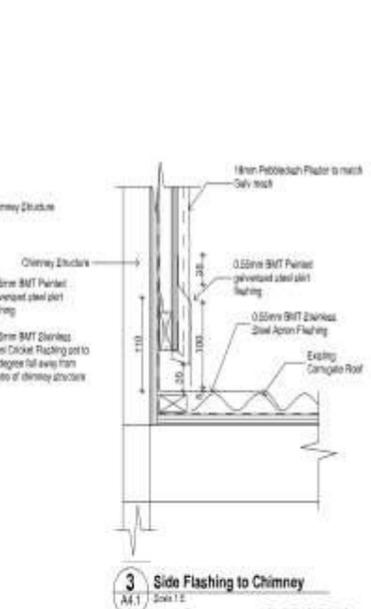
SECTION A
Scale 1:5



1 Chimney to Fascia Board
Scale 1:5



2 Cricket Flashing to Chimney
Scale 1:5



3 Side Flashing to Chimney
Scale 1:5

DRAFT

The COPYRIGHT of these drawings and the ideas contained therein remain the property of the author unless otherwise agreed in writing. The Contractor shall verify all dimensions on site before each commencement.

TONY USSHER ARCHITECT & CONSERVATION CONSULTANT
35 BERRYMAN ROAD, CHRISTCHURCH 8011
PH 03 366 7115
03 366 7115

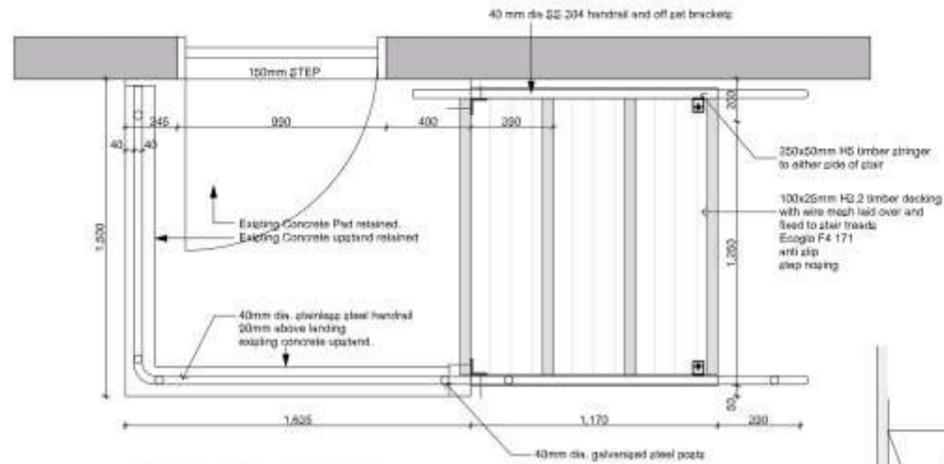
fulton ross teamarchitects
Fulton Ross Team Architects Limited
71 Canon Street, St Albans, Christchurch 8014, New Zealand
PH 03 366 7115
www.fultonross.co.nz

Project Title
Christchurch City Council
Akaroa Service Centre
78 Rue Lavaud
AKAROA

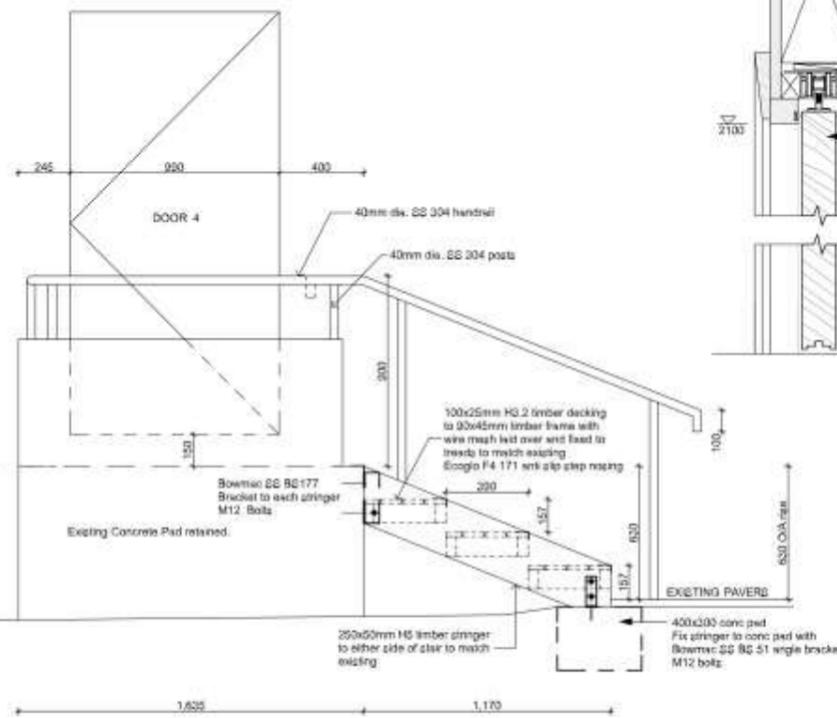
Drawing Title
Chimney Details
Scale
1:5 @ A2
Drawn by
Date
Checked by
Date

Issue
Resource Consent
Date
C.A.D file
Project No.
Rev

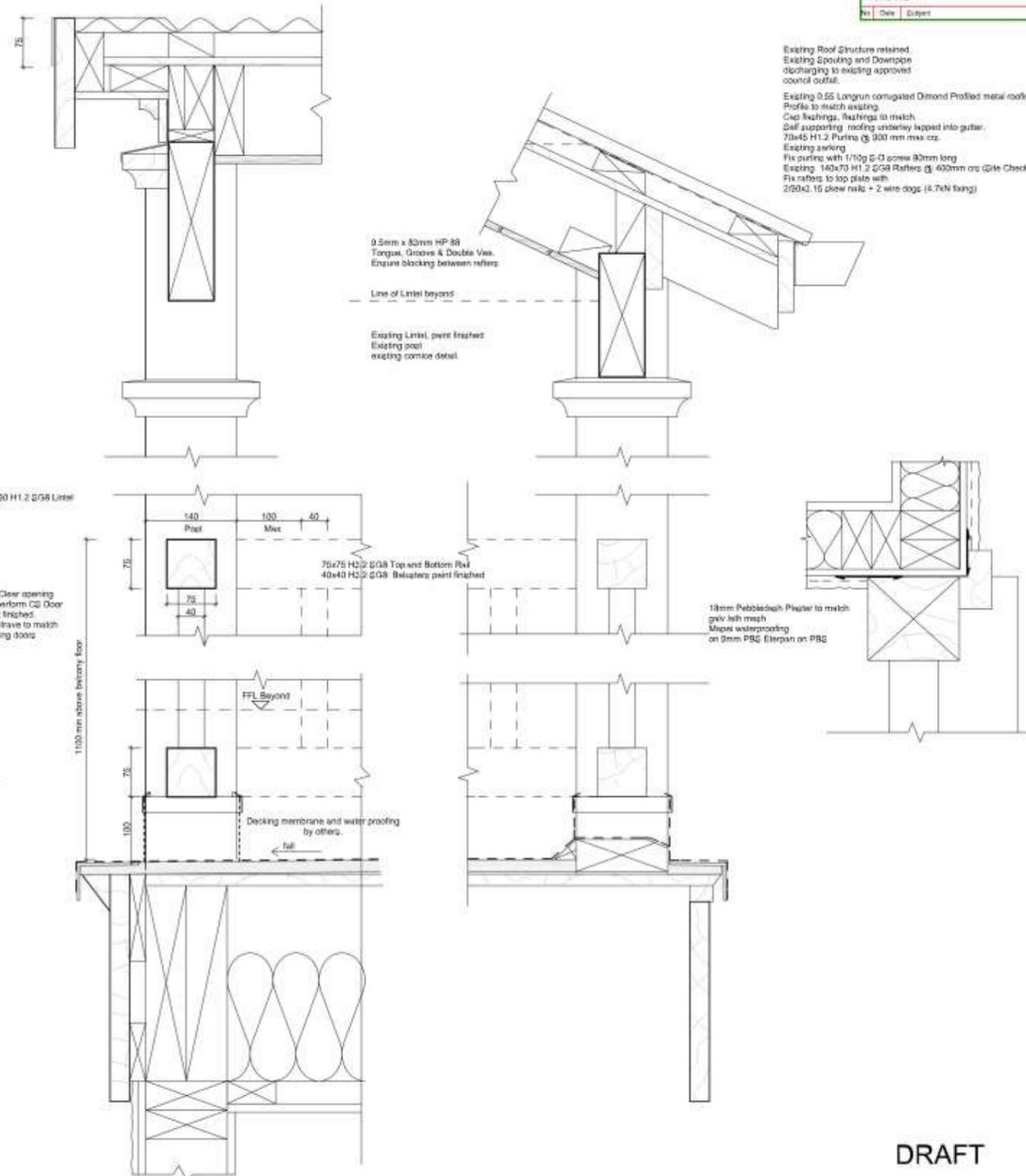
Revisions		
No	Date	Content



STAIR PLAN
Scale 1:20



STAIR ELEVATION
Scale 1:20



Existing Roof Structure retained. Existing Spouting and Downpipe discharging to existing approved council outlet.
Existing 0.55 Longrun corrugated Diamond Profiled metal roofing Profile to match existing. Clep flashings, flashings to match. Self supporting roofing underlay lapped into gutter. 70x45 H1.2 Purlin @ 900 mm max c/c.
Existing sarking Fix purlin with 1/10g G-O screw 80mm long Existing 140x70 H1.2 SGR Refers @ 400mm c/c (Gle Check) Fix refers to top plate with 2/50x3.15 slow nails + 2 wire dogs (4.7kN fixing)

DRAFT

TONY USSHER ARCHITECT & CONSERVATION CONSULTANT
33 SANDY BEACH ROAD
DUNEDIN 914
LYTELTON 9071
PO BOX 4402
CHRISTCHURCH 8140
t: 03 329 9977
f: 03 329 9977
www.tonyussher.co.nz

fulton ross teamarchitects
Fulton Ross Team Architects Limited
71 Canon Street, St Albans
Christchurch 8014, New Zealand
t: +64 3 366 7145 e: admin@frta.co.nz
www.fultonross.co.nz

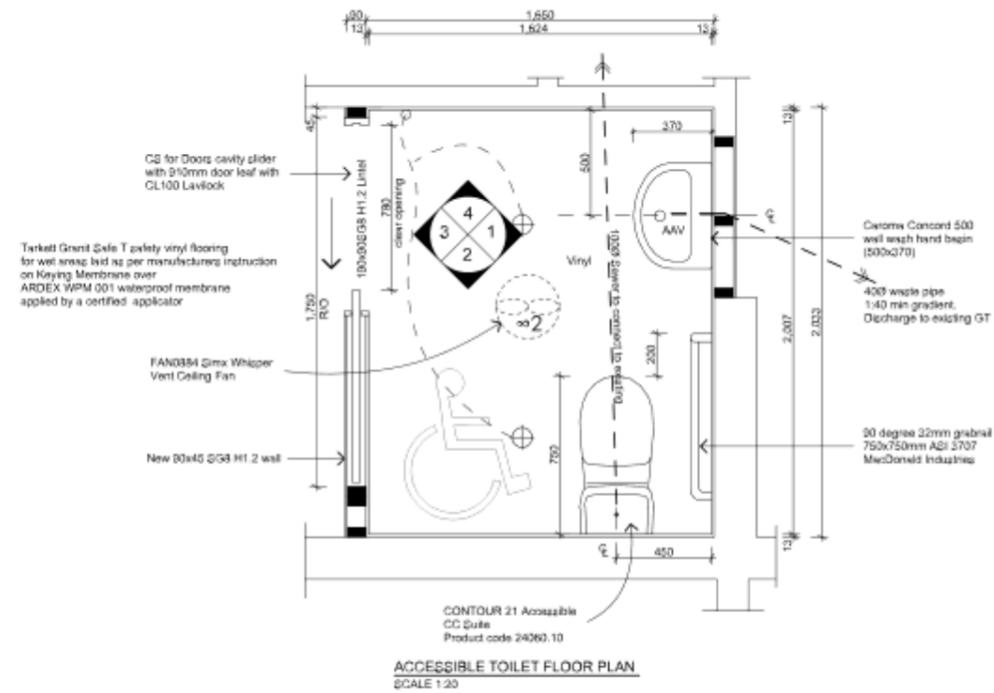
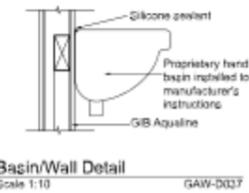
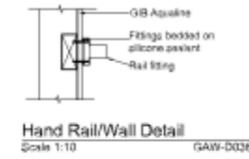
Project Title	Christchurch City Council Akaroa Service Centre
78 Rue Lavaud AKAROA	

Drawing Title	scale
Details	1:20, 1:5 @ A2
Drawn by MD	Checked by WF
Date October 2016	Date 2016

Issue	Resource Consent
Date 17/11/2016	Sheet No. A4.2
C.A.D file	Project No. 5705 (K)
Rev	

The COPYRIGHT of these drawings and the ideas contained therein remain the property of the author unless otherwise agreed in writing. The Contractor shall verify all dimensions on site before work commences.

Revisions		
No	Date	Detail



Maximum allowable discharge units related to pipe size and gradient in graded discharge pipes

MIN. GRADE OF PIPE	DISCHARGE PIPE DIAMETER (DIP)				
	40	50	65	80	100
5.0	1.20	5	15	51	378
3.35	1.30	5	10	29	244
2.8	1.40	4	8	21	182
2.0	1.50				
1.66	1.60				

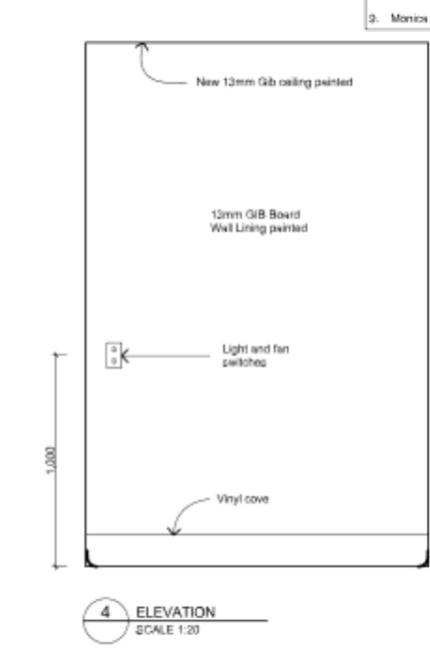
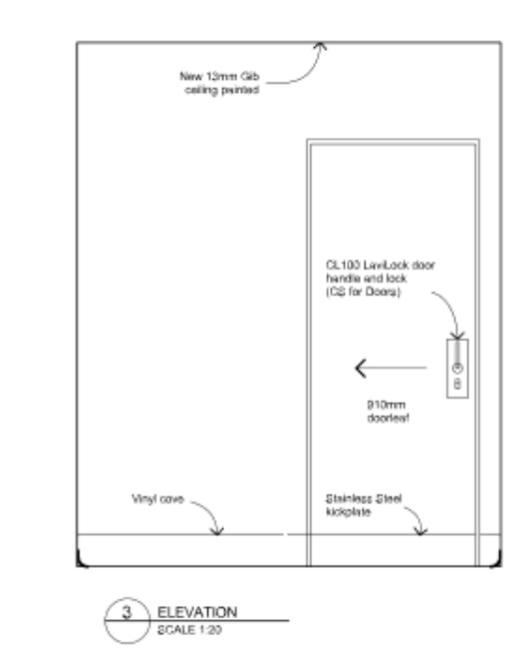
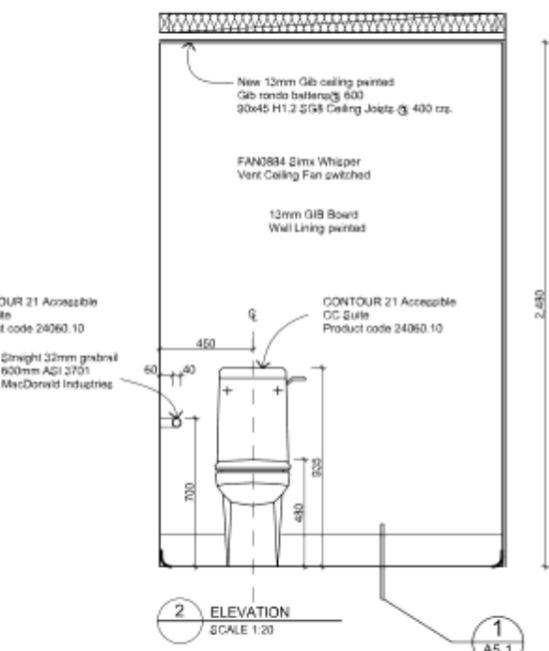
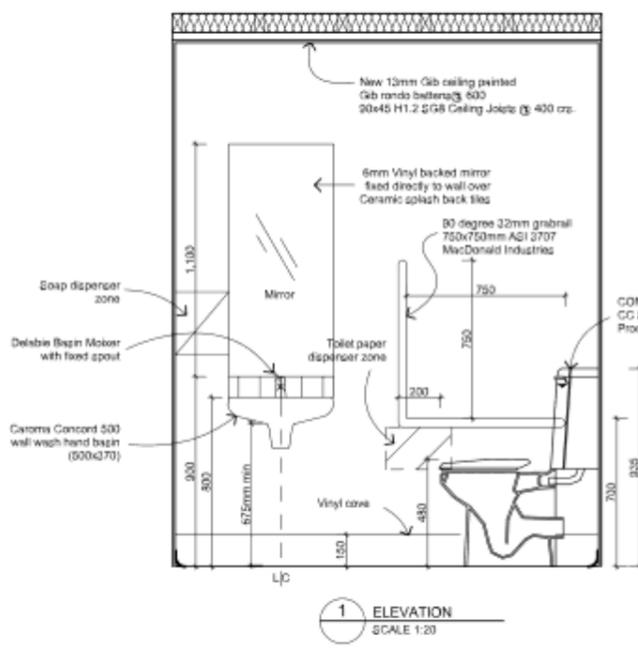
NOTE 1. FOR LOWER PIPE SIZES AND LOWER GRADIENTS REFER TO TABLE 7.1 OF THE AS/NZS 3503.2
NOTE 2. IT IS RECOMMENDED THAT A DISCHARGE PIPE FROM A WC WITH A 4.5 LITRE FLUSHING CISTERN HAS A MIN. OF 2.5% NOT 1.65%.

Sanitary Fixtures Table

SPACE	FITTINGS	DISCHARGE UNITS	FITTINGS	MINIMUM GRADIENT
LAUNDRY	WASHING MACHINE AND SINK UNIT	8	50mm dia	1:40
BATHROOM	WC PAN WITH WASHBASIN	4	100mm dia	1:60
		2	40mm dia	1:40
KITCHEN	SINK (w/ DSH WASHER)	6	50mm dia	1:40
ENSUITE	WC PAN	4	100mm dia	1:60
	WASH (w/)	2	40mm dia	1:40
	SHOWER	4	50mm dia	1:40
	BATH	4	40mm dia	1:40

ALL WORK HAS BEEN CALCULATED USING THE NZBC

- GENERAL NOTES**
- Signage on door to comply with NZBC F8A51 and NZS 4121:2001 Sections 4.8 & 10.3 Signs.
 - All new doors to have minimum clear opening of 762mm.
 - Cavity slider to be 910mm CG for Doors with CL100 Lavalock.
 - Internal dimension of Accessible Toilet to be minimum 1600 x 1900 (fining to lining).
 - Toilet specified complies with NZBC D1/A51 and NZS4121. Use only Contour 21 Accessible CC Suit.
 - Wash Hand Basin complies with NZBC D1/A51 and NZS4121. Use only Caroma Concorde 500 basin.
 - Tapware to be Delabie Basin Mixer with fixed spout.
 - Tarkett Optima vinyl flooring with 150mm cove.
 - Monix Centrifugal roof extract (MON150M-2E).



DRAFT

The COPYRIGHT of these drawings and the ideas contained therein remain the property of the author unless otherwise agreed in writing. The Contractor shall verify all dimensions on site before work commences.

TONY USSHER ARCHITECT & CONSERVATION CONSULTANT
33 SANDY BEACH ROAD, GOVERNORS BAY, LYTTELTON 8071
PO BOX 4402, CHRISTCHURCH 8140
tuss@ussher.co.nz
Ph: 03 329 0601, Fax: 03 329 3937, Cell: 0222 433 914

fulton ross teamarchitects
Fulton Ross Team Architects Limited
71 Canon Street, St Albans, Christchurch 8014, New Zealand
p: +64 3 366 7165 | admin@frta.co.nz | www.fultonross.co.nz

Project Title
Christchurch City Council Akaroa Service Centre
78 Rue Lavaud AKAROA

Drawing Title
Staff Accessible Toilet
Scale
1:20, 1:10, 1:100 @ A2
Drawn by MD, Checked WF
Date October 2016, Date 2016

Issue
Resource Consent
Date 17/11/2016, Sheet No. A5.1
C.A.D file
Project No. 5705 (K), Rev

**AKAROA SERVICE CENTRE,
78 RUE LAVAUD,
AKAROA.
EARTHQUAKE REPAIRS, RESTORATION & STRENGTHENING.**

TEMPORARY PROTECTION PLAN

ACTIVITY	POTENTIAL RISK	MITIGATING MEASURES
Documentation	Loss or damage to heritage fabric.	<ul style="list-style-type: none"> • A photographic survey is to be maintained by William Fulton (Project Conservation Architect) prior to work commencing and during dismantling, retrieval and storage. Special areas or weaknesses are to be recorded and protection measures put in place. • Significant material and fabric including broken and damaged fabric is to be salvaged for re- use and/or interpretation purposes to assist with the reconstruction and restoration of the chimneys and house and includes the following: <ul style="list-style-type: none"> a. Timber fascia, bargeboards, weatherboards and any other exterior timber b. Fireplaces, fire surrounds and tiled hearths c. Ceiling Roses, light fittings d. Interior timber facings, architrave, skirting • Dado rail, Plaster arch, fixed lights, timber doors • Monitoring and subsequent photographic record of all works and discoveries shall be maintained by those above who shall be notified as soon as any discoveries become apparent. On instruction record and photograph and report at scheduled site meetings.
Communication	Heritage fabric either known or discovered may be at risk if intentions and subsequent actions are not discussed and decided upon by the heritage consultants led by the Project Conservation Architect.	<ul style="list-style-type: none"> • Initiate a 'Heritage Site' briefing to all contractors and staff, consultants and work related visitors. • Hold a pre-construction site meeting prior to work commencing on each area of the building, and then regular minimum weekly construction meetings on site where heritage related issues are discussed and recorded.

Akaroa Service Centre

FULTON ROSS TEAM ARCHITECTS

		<ul style="list-style-type: none"> Establish communication procedures for issues arising between site meetings.
Security	<p>Out of hours construction sites are potential targets to damage and subsequent loss of heritage fabric.</p> <p>The building is isolated but adjacent to a public carpark that is frequented at night.</p>	<ul style="list-style-type: none"> Ensure the whole site is secure and monitored during the construction period. The site is adjacent to commercial properties, public space, footpath and road. Normal use by the public of these is to be maintained at all times. The site is to be secured all around the building. Final security of the site each day is the contractor's responsibility. The security and safety of scaffolding, hoists, plant and equipment and the security fenced contractor's work and storage area is the contractor's responsibility. The Main Contractor, is to prepare a Site Management Plan including site access, positioning of site buildings and security. This is to be approved by CCC. Ensure the whole site is secure and monitored at all times during the contract period. All parts of the building are to be secured when contractors are not on site. It is the contractor's responsibility to maintain security of all removed and stored materials. Report on security at site meetings and take appropriate action as situations require.
Weather proofing	<p>Damage to heritage fabric is possible when elements are open to the weather during the repairs, stabilisation and strengthening process.</p>	<ul style="list-style-type: none"> All repairs and reconstruction are to be managed with an eye on the weather so that sections are completed during a normal working day and any exposure of heritage fabric is minimised. Do not remove large areas of roofing and rely on temporary tarpaulins for weather protection for longer than is reasonably possible. Complete permanent repairs and re-roofing as the work areas are completed rather than waiting until all roof reconstruction, structural connections and plywood diaphragm work is completed. Any heritage fabric including lead flashings removed is to be recorded by the group conservation architect and stored for repair and/or re-use. Provide temporary rain tarpaulins and temporary weather protection to any exposed parts of the building, and maintain for as long as required throughout the contract.
Electrical Services	<p>Electrical supply and cable reticulation may be damaged.</p> <p>Electrical Services in the buildings may be damaged.</p>	<ul style="list-style-type: none"> Disconnect the power supply to the buildings until the supply and reticulation is checked, repaired and the hazard removed.
Fire & protection systems	<p>The building is of cultural, social, historical</p>	<ul style="list-style-type: none"> This is strictly a NO SMOKING site

Akaroa Service Centre

FULTON ROSS TEAM ARCHITECTS

	<p>and architectural significance to the community. It is a timber structure with timber floors, ceiling and roof structure, and consequently has much fabric that is vulnerable to fire from open flame and electrical equipment and failure as well as the storage of flammable materials. Welding and grinding of structural steel presents a fire risk, sometimes long after welding activities have ceased. The building is protected by a fire detector system.</p>	<ul style="list-style-type: none"> • No open flame or heat devices allowed on site. • Construction fire extinguishers are to be provided as well as permanent access to a water supply for fire-fighting. • Welding or use of angle grinders within the building is not permitted under any circumstances without prior approval of the Project Manager, and Conservation Architect, who will consult with the Structural engineer, Endel Lust Engineer. If welding is permitted, and where necessary the approval of the NZ Fire Service is to be obtained. The site is subject to seasonal fire restrictions. Where permitted, welding is to be undertaken outside the building in the contractors work area and away from any exposed natural ground and vegetation. Ensure hand held fire extinguishers and water hoses are adjacent to the work site and dampen the surrounding grounds and vegetation prior to commencing. All welding shall be undertaken in the morning and in calm weather and the site dampened down on completion of the work. The site of the welding is to be monitored for 4 hours after completion of the work. • Combustible materials are to be securely stored away from the building and vegetation. • Keep the fire detector system in the building operational or provide temporary fire detector system throughout the duration of the construction period and complete any upgrading of the system as early in the contract as is practically possible.
<p>Heavy vehicles Concrete Pumps</p>	<p>The use of heavy vehicles and concrete pumps may be required.</p>	<ul style="list-style-type: none"> • Take care to manoeuvre the crane, hoist, concrete pump and vehicles around the hard and soft landscaping and the building. If public access is affected, traffic management procedures and approvals are to be put in place • Avoid damage to the gardens and trees. If trees or plants are impeding access the Project Manager is to be advised and he will arrange for the CCC arborist to inspect the site and requirements and to take necessary action. • Cranes will be limited in size by site access Location of cranes to be agreed with Project Manager. • Location for concrete trucks and pumps used are to be agreed and approved by the Project Manager. • Concrete slurry is to be removed from the site and not be poured onto the ground.

Akaroa Service Centre

FULTON ROSS TEAM ARCHITECTS

<p>Dust and debris</p>	<p>The contractors site and construction area is located adjacent to public carparks, footpaths and public space.</p> <p>Heritage fabric may be at risk of further damage</p>	<ul style="list-style-type: none"> • Keep the contractors site and construction area dampened to avoid dust nuisance and penetration into the building and onto surrounding area. • Dust and grit is to be kept out of stormwater sumps and channels. Provide hay bales as sediment filter in the channels to prevent sediment entering the stormwater reticulation system Check channel and sumps regularly for accumulated sediment and clean and remove from site as necessary. • Remove only debris from site as instructed by the heritage consultant. This is to remove the risk of heritage fabric being removed from site that may otherwise be required for restoration or interpretation purposes. • As areas of walls and ceiling and framing are exposed, provide and maintain covers and protective sheeting to minimise further damage. Refer to Protection of Fabric requirements below.
<p>Scaffolding & temporary support</p>	<p>Potential damage to heritage fabric can occur from load bearing, falling or leaning scaffolding.</p> <p>Damage can occur where building fabric or elements are removed to allow scaffolding to be installed without adequate support of remaining fabric.</p>	<ul style="list-style-type: none"> • All scaffolding to be erected is to be held clear of the buildings and protection is to be provided where contact is made with any heritage fabric. Keep scaffolding well clear of any decorative elements and windows. Provide padding between the scaffold planks and poles where these are in close proximity to the building fabric. Plastic caps on all scaffolding ends. • Scaffolding shall not connect to the building. • Any interior scaffolding is to be provided with spreader boards to distribute the loads. The spreader boards are additional to the plywood over Jiffy foam floor protection provided. • Site meeting to be held with scaffolders and project manager and project conservation architect prior to erection of scaffolding to discuss, agree and record any protection required.

Akaroa Service Centre

FULTON ROSS TEAM ARCHITECTS

De-construction	Damage to fabric intended for re-use or to adjacent insitu heritage surfaces.	<ul style="list-style-type: none"> • Removal of elements and heritage fabric is to be carefully managed so that elements are recorded, dismantled and numbered for re-use. • All heritage fabric removed including all items identified in "Documentation & Recording" is to be recorded by the Conservation Architect and securely stored for repair and/or re-use. • All material is to be recorded prior to removal for its location and orientation. • Fireplace shelf, mantel, facing, firebox, hearth and breast to be removed and protected for reinstatement. items removed are to be recorded by the Conservation Architect before removal and are to be protective wrapped in Jiffy foam, securely stored and protected from the weather. • Joinery and items removed are to be recorded by the Conservation Architect before removal and are to be protective wrapped in Jiffy foam, securely stored and protected from the weather. • Light fittings and electrical fixtures are to be removed and stored wrapped in Jiffy foam in purpose made plywood boxes in a secure container on site. • Timber wall trim to be removed to allow wall repairs are to be recorded by the Conservation Architect before removal and are to be protective wrapped in Jiffy foam, securely stored and protected from the weather. • No materials removed are to be removed from the site without the prior approval of the Conservation Architect. • Existing and adjacent surfaces are to be protected from work above. Refer "Protection" section below.
-----------------	---	---

Akaroa Service Centre

FULTON ROSS TEAM ARCHITECTS

<p>Protection of fabric: Timber Floors, fireplaces, doors, windows. Floor coverings. Stairs, Stair balustrades, Balusters. Stair newel posts.</p>	<p>There is risk to significant insitu heritage fabric from damage caused during deconstruction and construction work.</p> <p>There is risk to significant heritage fabric that may be relatively undamaged or that must be salvaged insitu for protection.</p> <p>Areas of brick masonry to the lower chimney breasts have been damaged and require further deconstruction with potential for damage to the interior of the building from falling material damage.</p> <p>Surfaces can be damaged by debris and grit as a result of the deconstruction work.</p> <p>Exterior and interior surfaces being worked over and adjacent to during construction processes are at risk from accidental damage.</p>	<ul style="list-style-type: none"> • Provide protection to insitu fabric wherever possible before retrieval or removal of fabric from above or adjacent to it. • Further deconstruction of the chimneys to remove loose and dangerous masonry will be required as directed by the Project Structural Engineer and Conservation Architect. • Provide Jiffy foam and ply/MDF sheet protection to the side walls and floors • Provide similar to any dados to walls and to the fireplaces. Timber shelf, mantel and timber surrounds are to be removed and wrapped with Jiffy foam and stored for reuse. • Provide full floor protection using plywood or MDF sheeting laid over Jiffy foam to all timber floors, in all rooms affected by the work and on traffic routes. Floor protection to floors and hearths shall be 12mm minimum thickness plywood/MDF with jiffy foam between the sheeting and flooring. (Jiffy foam provided by Insight-Unlimited). • Provide protection as above to all floors where mobile or fixed scaffolding is used. Where fixed scaffolding is used provide timber mounting blocks between poles and plywood/MDF floor protection. • Where rooms are carpeted, carpets are to be lifted and stored as directed by the Project Manager. Lay plywood/MDF protection on Jiffy foam over. • Prior to protective covers being applied floors must be photographically recorded and their condition inspected and noted. Clean debris and aggregate from surfaces and floors, prior to laying protection. Where instructed following inspection by the Conservation Architect, vacuum clean surfaces rather than sweeping of surfaces. • Doors that are affected by the work are to be removed from their frames and stored in a safe secure place on site or in a secured container on site. The doors are to be wrapped in Jiffy foam. Doors that are not in work areas or construction traffic routes may be left insitu and protected by Jiffy foam throws. Jiffy Foam and ply both faces. If removed, record, protective wrap in Jiffy foam and store. • Windows are to be protected insitu where affected by work above or adjacent to the windows or where otherwise at risk from construction processes. Provide plywood inserted sheet protection with LD45 foam between ply sheets and window frames. • Deconstruction of the Balcony structure and glazed partitions will be required as directed by the Project Structural Engineer and Conservation Architect.
---	---	---

Akaroa Service Centre

FULTON ROSS TEAM ARCHITECTS

Roofing and weather protection	Timber T&G sarking is at risk of weather damage during re-roofing and bracing	<ul style="list-style-type: none"> • Provide temporary rain tarpaulins and temporary weather protection to any exposed parts of the building, and maintain for as long as required throughout the contract. • Refer to weather proofing section above
Stormwater goods repairs	The existing spoutings and downpipes may require temporary removal to facilitate repairs and reconstruction work.	<ul style="list-style-type: none"> • Removal of downpipes to be carefully managed to prevent damage to the downpipe sections and walls behind. • Any heritage fabric removed to be labelled and stored for repair and/or re-use.
Fittings and Furniture	Significant furniture and fittings may have been damaged or are at risk of damage during deconstruction and repair work.	<ul style="list-style-type: none"> • Ensure all fittings and furniture are removed to secure storage and evaluated for repair and restoration where necessary. In storage the fittings and furniture should be protected with unbleached calico covers. The storage area should be clean and insect free (fumigated) and all furniture/wooden or objects that may have pests in them should be placed in quarantine prior to being stored in the general storage area.
Monitoring and Instructions	There is a risk that the work will proceed undocumented or without prior agreement resulting in damage and/or loss to heritage fabric.	<ul style="list-style-type: none"> • Work is only to be conducted under supervision or agreement of the Council Heritage Consultant, the Conservation Architect and in consultation with the Project Structural Engineer. • The Council Heritage Consultant and the Conservation Architect are to undertake regular inspections to suit the work and at milestones. • The Conservation Architect only shall issue or request instructions and these are to the Project Manager for his consideration and action. • All instructions to the main contractor shall be issued by the Project Manager and the main contractor will not act on instructions unless with authorisation from the Project Manager.

5. Akaroa Court House and Akaroa Customs House - Exterior Paint Schemes

Reference: 17/62776

Contact: Victoria Bliss

Victoria.Bliss@ccc.govt.nz

941 8816

1. Purpose of Report

- 1.1 This report is for staff to hold a retrospective discussion with the Committee on the exterior colour schemes of the Akaroa Court House at 71 Rue Lavaud, Akaroa and the Akaroa Customs House on Rue Balguerie, Akaroa.

2. Staff Recommendations

That the Akaroa Design and Appearance Advisory Committee:

1. Receive the exterior colour schemes of the Akaroa Court House and Akaroa Customs House.
2. Provide retrospective comment as appropriate on the exterior colour schemes.

Attachments

No.	Title	Page
A ↓	Akaroa Court House - Exterior Colour Scheme	30
B ↓	Akaroa Customs House - Exterior Colour Scheme	31

Signatories

Author	Liz Carter - Community Board Advisor
Approved By	Liz Carter - Community Board Advisor

Akaroa Court House: 71 Rue Lavaud

Exterior Colour scheme – based on paint scrapings, BS colours available at the time of construction and mid 1880s photographic evidence.

Prepared by Lynda Wallace and Victoria Bliss, with paint scrapings taken by Bridget Sullivan

Location	Colour	Ref
<ul style="list-style-type: none"> - Roof - Spouting to roof (Image suggests unpainted iron roof)	Heritage range: STACK Or if Roof colour system required: MID GREY	N65-003-154 N55-005-250
<ul style="list-style-type: none"> - Timber weatherboards - Ventilation and servicing elements on weatherboards (minimise visual impact) - Downpipes on weatherboards and downpipe brackets - Background to Court House sign 	Heritage range: BOWMAN	BR79-054-075
<ul style="list-style-type: none"> - Corner boards - Window frames (excluding sash inserts) - Window trims - Window sills & sill brackets - Window scribes - Soffit - Eaves brackets - Finial (to be replicated) - Fascia - Bargeboard - Door trim - Porch posts - Porch post brackets - Porch T&G ceiling - Frame architrave to Court House sign 	Resene colour: SPANISH WHITE (equivalent of Farrow and Ball's "LIME WHITE" – traditional, neutral white without the yellow undertones of 'Colonial White')	Y88-024-082
<ul style="list-style-type: none"> - Doors - Sash window inserts 	Heritage range: MAHOGONY	R30-038-026
<ul style="list-style-type: none"> - Baseboard - Access ramp base - Access ramp rail 	Heritage range: DOUBLE BOWMAN (i.e. double strength/shot of the standard colour to 'ground' the building and subtly identify the newer elements)	Y68-067-073
<ul style="list-style-type: none"> - Lettering on Court House sign 	Heritage range: BURNT UMBER	BR31-023-061
<ul style="list-style-type: none"> - Porch deck & Access ramp flooring 	Heritage range: SLATE BROWN (or equivalent from a non-slip paint range as there needs to be a non-slip finish here)	BR53-028-056

Akaroa Customs House: Rue Balguerie

Exterior Colour scheme – based on paint scrapings, BS colours available at the time of construction and advice from Ian Bowman, Conservation Architect and author of the Conservation Plan for the building.

Prepared by Lynda Wallace and Victoria Bliss.

Location	Colour	Ref
<ul style="list-style-type: none"> - Roof <p>(Image suggests unpainted iron roof)</p>	<p>Resene Roof colour system: SWORD (slightly metallic finish)</p>	M66-002-254
<ul style="list-style-type: none"> - Timber weatherboards - Corner boards - Facsias - Sofits - Rafter ends - Door frames 	Heritage range: BUFF	Y68-067-073
<ul style="list-style-type: none"> - Window sashes (all opening elements of the windows but not the frames) 	Resene colour: DOUBLE PEARL LUSTA	Y92-024-085
<ul style="list-style-type: none"> - Doors - Window sills - Window frames - Window hood - Window hood brackets - Bargeboards 	Heritage range: MAHOGONY	R30-038-026

6. Akaroa Design and Appearance Advisory Committee - Meeting Schedule 2017

Reference: 17/52076

Contact: Liz Carter

Liz.carter@ccc.govt.nz

941 5682

1. Purpose of Report

- 1.1 The purpose of this report is for the Akaroa Design and Appearance Advisory Committee to approve its meeting schedule through to the end of 2017.

2. Staff Recommendations

That the Akaroa Design and Appearance Advisory Committee:

1. Adopt the following meeting schedule from 1 March to 31 December 2017:

Wednesday 1 March	2.30pm	Akaroa Sports Complex
Wednesday 5 April	2.30pm	Akaroa Sports Complex
Wednesday 3 May	2.30pm	Akaroa Sports Complex
Wednesday 7 June	2.30pm	Akaroa Sports Complex
Wednesday 5 July	2.30pm	Akaroa Sports Complex
Wednesday 2 August	2.30pm	Akaroa Sports Complex
Wednesday 6 September	2.30pm	Akaroa Sports Complex
Wednesday 4 October	2.30pm	Akaroa Sports Complex
Wednesday 1 November	2.30pm	Akaroa Sports Complex
Wednesday 6 December	2.30pm	Akaroa Sports Complex

*Note: Meetings will only be held if there are plans or other business to consider.

3. Meeting Schedule

- 3.1 The staff recommendation in this report, for the Committee to adopt a meeting schedule through to the end of 2017, has been developed based on a number of factors:
 - Similar time of the month to previous schedule (First Wednesday of month)
 - Consideration of other commitments on the Council calendar, e.g. Council meetings
 - A desire to avoid day/time clashes with other Community Board meetings
- 3.2 It is proposed that the venue for Committee meetings will be the Akaroa Sports Complex. Site visits will be arranged as appropriate. The meetings would commence at 2.30pm.
- 3.3 The Committee has the delegated authority under its Terms of Reference to set its own Meeting Schedule.
- 3.4 As in previous years, a meeting of the Committee will only be held if there are plans or other business to consider.

Attachments

There are no attachments for this report.

Confirmation of Statutory Compliance

Compliance with Statutory Decision-making Requirements (ss 76 - 81 Local Government Act 2002).

(a) This report contains:

- (i) sufficient information about all reasonably practicable options identified and assessed in terms of their advantages and disadvantages; and
- (ii) adequate consideration of the views and preferences of affected and interested persons bearing in mind any proposed or previous community engagement.

(b) The information reflects the level of significance of the matters covered by the report, as determined in accordance with the Council's significance and engagement policy.

Signatories

Author	Liz Carter - Community Board Advisor
Approved By	Penelope Goldstone - Community Governance Manager, Banks Peninsula/Akaroa

7. Committee Members' Exchange of Information

This item provides an opportunity for Committee Members to update each other on recent events and/or issues of relevance and interest to the Committee.